

HISTORIC PRESERVATION COMMISSION

Hearing: December 8, 2011

Staff Report

PROJECT INFORMATION

CASE NUMBER: HPC11-00737
CITATION ISSUED: No
ADDRESS: 106 W Church St
APPLICANT NAME: All Saints Episcopal Church
PREPARED BY: Christina Martinkosky
DATE: December 1, 2011

PROJECT DESCRIPTION

This application concerns alterations to an existing brick walkway that connects the western-most entry on the front elevation to a public sidewalk parallel to West Church Street. Proposed work also includes the construction of an ADA accessible brick ramp. The proposed ramp will connect the pre-existing brick walkway to a concrete path that is located along the west (side) of the church.

NOTE: The applicant recently received approval to reconstruct the concrete steps at the secondary entrance (west stair) in kind and to reinstall the original metal railing in the same manner as the existing. (HPC11-706) The steps and railing leading to the entry are not part of this application.

ZONING AND DEVELOPMENT REVIEW PRELIMINARY ASSESSMENT

COMPLIANCE WITH HPC GUIDELINES

This application meets submission requirements: ☒ Yes ☐ No

This application meets the *Frederick Town Historic District Design Guidelines*:

☒ Yes ☐ No

STAFF COMMENTS:

The original walkway leading from the western-most bay on the front elevation is comprised of brick set in a herringbone pattern. Other elements of this walkway include two brownstone steps and a wrought iron railing that runs the entire length of the path on the west side. Proposed alterations to the walkway include:

- Relocating the three (3) existing brownstone steps situated near the junction of the walkway and the City sidewalk approximately 13' south. The stone steps will be installed over one new concrete step that will be tinted to match the color of the stone. The existing concrete piers located at the original location of the steps will not be moved or altered.

- Removing and resetting the original brick in a running bond pattern over a 4" concrete slab set on a 4" crushed stone base
- Constructing brick walls that will be 12" in height and flanking the walkway
- Reinstalling the original wrought iron railing on top of the new 12" brick walls.

The construction date of the walkway is unknown; however the brownstone steps are a historic and significant element. *The Frederick Town Historic District Design Guidelines* state that "Historic landscape features must be identified, repaired, and preserved" (pg. 120). Staff finds that relocating the brownstone steps will preserve the historic material while accommodating the construction of an ADA compliant ramp. Staff also supports the reuse of the original brick and suggests that the herringbone brick pattern is used rather than a running bond.

Staff finds that more detail should be provided to show how the original wrought iron railing will be reinstalled. The height of the railing will most likely need to be readjusted and will also need to be modified to allow access to the new ramp.

The proposed ADA compliant ramp will be approximately 4'3" wide and will feature brick set in a herringbone pattern. The walkway will be flanked by brick walls. To accommodate changes in the grade the west wall will be approximately 12" in height and the east wall will be as high as 3 feet. The following alterations are proposed to construct the ramp:

- The two concrete steps and curved portion of the existing retaining wall located at the northwest corner of the building will be demolished and removed.
- The existing opening in the concrete retaining wall located at the west property line will be infilled with new concrete.
- After masonry work is complete, soils will be replaced to minimize the differences in grade. The ground will be mulched and seeded.
- Replacement shrubs will be planted adjacent to the W. Church Street sidewalk, adequate to "scree" the existing City spotlight located at the northwest corner of the property.

The *Design Guidelines* state that "Paving for private pedestrian walks and patios may be brick, concrete, stone, or other masonry pavers. A private walk that abuts a City sidewalk must be brick or concrete" (pg.128). Staff finds that the proposed walkway meets these requirements.

It is likely that the landscaping located in the northwest corner of the property, which currently obscures a city-owned spotlight, will be damaged during construction. *The Design Guidelines* state that "The Commission may require HVAC equipment and other utilities to be screened from view from the public way. Screens approved by the Commission may be fencing, plant materials, or a combination... If plant materials are required for screening; shrubs must be at least two feet high when planted... Evergreen species must be planted if the conditions would foster healthy growth of evergreen species" (pg. 121). Staff finds that this landscaping element should be preserved if possible or replaced with a suitable evergreen plant if necessary.


STAFF RECOMMENDATION

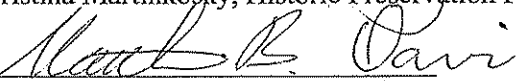
Staff recommends approval for the proposed alterations to the existing brick walkway and the construction of an ADA accessible brick ramp with the following conditions

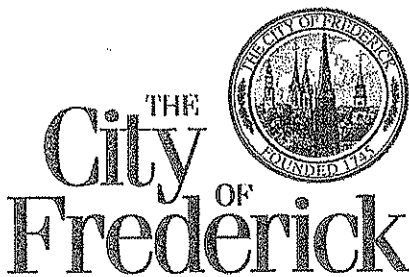
- That the original brick of the existing walkway is relayed in a herringbone pattern rather than a running bond;

- That the existing opening in the concrete retaining wall located at the west property line will be infilled with new concrete that matches the color, texture, and design of the rest of the wall; and
- That the landscaping located in the northwest corner should be retained if possible. If the shrubs cannot be preserved, then they are to be replaced with an evergreen species that must be at least two feet in high when planted.

Application determined technically complete:


Christina Martinkosky, Historic Preservation Planner


Matthew Davis, AICP, Manager of Comprehensive Planning



Exterior Rehabilitation and Additions

For Official Use Only	
HPC Case Number:	11-737
Date Submitted:	Amt. Paid:
Hearing Date:	12/8/11
Fee Schedule	
Residential&duplex (less than \$500 improvement)	\$ 5.00
Residential&Duplex (between \$501-\$5000 improvement)	\$20.00
Residential&Duplex (greater than \$5000.00 improvement)	\$50.00
Commercial & Multi-family (less than \$500 improvement)	\$10.00
Commercial & Multi-family (between \$501-\$5000 improvement)	\$ 50.00
Commercial & Multi-family (greater than \$5000 improvement)	\$250.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION EXTERIOR REHABILITATION AND ADDITIONS

All work in the historic district must comply with the *Frederick Town Historic District Design Guidelines*. The guidelines are available on the City's website (www.cityoffrederick.com), at the C. Burr Artz Library, and in the Planning Department at the Municipal Office Annex, 140 West Patrick Street.

Instructions: Submit the original application, required fees, and THIRTEEN (13) copies of the application and all supporting documents no later than 1:00 p.m. on either the first or third Thursday of the month, in order to be heard at the next workshop and hearing. Applications for work that can be approved by staff (administrative approvals) can be submitted at any time and only the original and one (1) copy need to be submitted. **This form must be completed in its entirety, with attachments, before it will be considered by the HPC or scheduled for staff approval.** Workshop and hearing attendance is mandatory for a case to be heard by the HPC. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS 106 WEST CHURCH STREET	Tax ID: 29016794 Lot Number:
OWNER INFORMATION	
Name: ALL SAINTS' EPISCOPAL CHURCH, VESTRY OF THOMAS HOWARD, RECTOR	
Address: 106 W. CHURCH ST	
City/State/Zip: FREDERICK, MD 21701	
Phone: 301-663-5625 email: fatherton@allsaintsmd.org	
AGENT INFORMATION (Agent Authorization Form required if owner will not represent the property)	
Contact Name:	
Firm/Company:	
Address:	
City/State/Zip:	
Phone: email:	
BRIEFLY DESCRIBE ALL PROPOSED WORK (details required on page 2)	
Provide landscape accessibility from Church Street to Church office building, Memorial Garden and Columbarium	

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* _____ (initial)

I/we agree to post a copy of the Certificate of Approval (COA) along with the permit on the subject premises in a place of public view _____ (initial)

☒ Please check here if the HPC and staff have permission to enter the yard to view the project.

☐ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

Property Owner or Agent Signature

Date

11/3/11

ALL SAINTS' CHURCH, 106 W. CHURCH STREET, FREDERICK, MD 21701
CITY OF FREDERICK, HISTORIC PRESERVATION COMMISSION: HPC11-737

DESCRIPTION OF WORK PROPOSED TO INSTALL AN ADA ACCESSIBLE ENTRY FROM THE WEST CHURCH STREET SIDEWALK TO THE MEMORIAL GARDEN AT THE REAR OF THE CHURCH

Overview:

The original layout at the front of All Saints' Episcopal Church (facing W. Church Street) consisted of a walkway to a side door at the northwest corner of the church, which included (2) stone steps up from the sidewalk to a brick path leading to a set of cast-in-place concrete steps. A separate, adjacent brick walkway led via (2) descending concrete steps to a path to the Memorial Garden along the west side of the church (see **Plan # 5; Side Stairs Plan, dated 11/09/11** prepared by Heavy Timber Construction, Inc. , henceforth referred to as the **"ORIGINAL PLAN"**.)

Per the proposed plan for new work (see **Plan # 10; Ramp Plan w/ Grade Elevations, dated 11/17/11** prepared by Heavy Timber Construction, Inc. henceforth referred to as the **"PROPOSED NEW PLAN"**.):

1) Walkway to the west door of the church:

- The (3) stone steps at the W. Church Street sidewalk will be relocated approximately 13' south towards the west steps to the church. They will be installed over one new concrete step, tinted to match the color of the stone. The existing concrete piers at either side of the stone steps will remain at their original location.
- A new replacement walkway will be installed from the sidewalk to the west stairs, consisting of the original paver bricks installed in a running bond pattern over a 4" concrete slab on a 4" crushed stone base at the same elevation as the sidewalk adjacent to W. Church Street
- New brick walls approximately 12" above the sidewalk surface will be installed at each side of the new walkway to the stairs.
- The original wrought iron railing will be reinstalled at either side of the new west steps to the church, and installed on top of new 12" masonry walls along the new walkway to the stairs.

2) New Ramp to the walkway at the west side of the church:

- The two concrete steps and the curved portion of the existing concrete retaining wall (visible at the upper right-hand corner of the **"ORIGINAL PLAN"**) will be demolished and removed.
- The opening in the concrete retaining wall (at the west property line) for the existing walkway to the rear of the church will be infilled with new concrete.
- A new 4'-3" wide masonry ramp consisting of paver bricks installed in a herring bone pattern over a 4" concrete slab on a 4" crushed stone base will be installed from the northwest side of the new walkway to the west door of the church (and off-set from the entry to this path from the sidewalk adjacent to Church Street) to the concrete walkway at the west side of the church. The grade of the new ramp will be in compliance with ADA requirements.
- New brick walls will be installed at each side of the new ramp, approximately 12" above the sidewalk surface at the west side of the ramp and as high as three feet above the sidewalk surface at the east side of the ramp, varying in height to accommodate the adjacent grade.
- After masonry work is complete, soils will be replaced to minimize the differences in grade, mulched and seeded.
- Replacement shrubs will be planted adjacent to the W. Church Street sidewalk, adequate to "screen" the existing City of Frederick spotlight installed at the NW corner of the site from view by an observer standing in front of the church.



Change Order #1

THIS PROPOSAL reflects a modification of CONTRACT #090211 and is made this ___ day of November, 2011, by Fitzgerald's Heavy Timber Construction, "Contractor", and All Saints' Episcopal Church, "Clients"

AGREEMENT

This Change Order contemplates the following change to the scope of work outlined in the original Contract between Contractor and Client. The work to be performed under this change order and any additional costs or deductions is described in the scope of work below.

Summary

Build a ramp, as described in the following scope of work, to serve as an ADA accessible route between the walkway on the west side of the main church and the side walk in the front of the main church.

Scope of Work

30 Design: The processes of documenting with drawings and written text the objectives for the project. This includes meetings and consultations to facilitate the coordination of the architect, engineer, client and others to obtain and understand their ideas and objectives based on material, building codes, engineering needs, budget etc. This work is performed on a Time and Materials basis and requires the acceptance of our T&M Policies and Procedures. The design of the building will include the joinery connection details needed for the timber frame production but will not include the shop drawings (the shop drawings are produced as part of the joinery process and remain the property of the contractor).

Procedure:

- 1) This scope of work includes labor and material needed to build a ramp to connect the walkway to the front door of the nave to the walkway along the west side of the main church.
 - a) The walkway should be designed and built to be ADA compliant as an accessible route.
 - b) The costs associated with this work are contingent upon the ramp construction coinciding with the drainage improvements.
- 2) Provide drawings for the HPC application and for the Frederick City Building Permit application.
 - a) The plans should show the existing conditions and the proposed new construction.
 - b) Drawings should include site plans, section elevations, and sufficient detail for the review and approval by the Building Permits office and the HPC.

Design Cost: \$3,774.60

70 Demolition: This is the removal of building material, whether deteriorated, damaged or no longer needed. Often the task of demolition takes place after some form of rigging but this is not always the case.

Procedure:

- 1) Remove the curved portion of the existing retaining wall near the North West corner of the main church.
- 2) Remove a portion of the brick pavement on the east side of the curved retaining wall.
- 3) Cut out sections of the existing retaining wall where the west steps are located. Remove enough of the old retaining wall so that the new finished opening in the wall can be 5 feet wide.

Demolition Cost: \$805.81

80 Excavation/Site Work: Grading and other earthwork for any purpose on a job site such as trenching for footers, foundations, drainage tile or utilities also earthwork that involves interior trenching for various purposes such as utilities or drainage, back filling around completed work, final grading, seeding and mulching. If solid rock is found, we will build on it. If it is determined that rock must be removed such work will be billed at our Time and Materials terms and rates. Work also includes tree removal, seeding, sod-laying, temporary construction buildings, on-site temporary toilet facilities, debris storage and disposal and temporary storage.

Procedure:

- 1) Excavate the area from the front retaining wall to the North West corner of the main church for the construction of a ramp for an ADA accessible route.
- 2) Excavate for footers for the new retaining walls to be built at the sides of the ramp and along the east side of the walk leading to the front door of the nave.
- 3) Back fill the ramp area between the new retaining walls and on the back sides of the new retaining walls.
- 4) Rough grade the area between the retaining walls in preparation for the new concrete slab.
- 5) Haul the excavation spoil from the site.
- 6) Finish grading, seeding and mulching the areas outside of the new retaining walls is included in the scope of work for the west side of the main church.

Excavation Cost: \$3,625.41

90 Foundation & Masonry: Work that is associated with the foundations of buildings, whether this is the construction of new foundations or repair to old ones. This may include but is not limited to stone, brick, block (CMU) or poured concrete. This may also include poured concrete footer work and associated reinforcing steel bars. Systems that we also include in this category are the drainage systems of a foundation such as tile and gravel as well as sealants for the foundation. This category also includes the cleaning and preparation of existing work and materials for relaying of salvaged materials. The task of re-pointing and pargeing is also included here.

Procedure:

- 1) Form and pour concrete footings for the new retaining walls.
 - a) The footings shall be 2 feet wide by 1 foot thick and the full length of the retaining walls.
 - b) Steps in the footings shall overlap twice the depth of the footing for each 8 inch step.
 - c) Two #4 rebars shall be placed lengthways in each footing.
 - d) Vertical rebars shall be #4 and placed on the centerline of the retaining walls at 2 foot on center.
 - e) The bottom of the footing shall be a minimum of 30 inches below the finished grade.
- 2) Build new retaining walls along the walkway from the street and along the new ramp.
 - a) 8 inch light weight concrete block will be used below grade.
 - b) Above the block the walls will be brick, 8 inches thick, consisting of 2 wythes.
 - c) The brick shall be laid in running bond
 - d) The vertical rebars shall extend from the footer to within 3 inches of the top of the wall.
 - e) All block cells and cavities in the brick wall shall be grouted solid.
 - f) The top of the retaining walls shall be approximately 8 inches above the finished grade on the outside of the walkway.
- 3) Install a concrete slab, 4 inches thick for the new ramp.
 - a) A base of #57 crushed stone 4 inches thick as the base for the new concrete slab.
 - b) Air entrained, 3,500 psi concrete shall be used for slabs on grade.
 - c) The concrete surfaces shall be broom finished.
- 4) Repair the brick pavement on the east side of the new retaining wall

Foundation Cost: \$18,790.97

Total Additional Cost: \$26,996.79

End "Scope of Work"



- 1) Payment Schedule: Payment for additional work shall be made according to the following payment schedule.

Stage	Payment	Percent of Project Total	Payment Amount	Invoice / Check
design and building permit	1	14.0%	\$3,774.60	
retaining walls done	2	45.0%	\$12,148.55	
walkway	3	41.0%	\$11,068.68	
	total of payments	100.0%	\$26,991.84	
	Total Project Cost		\$26,996.79	

- 2) Time for Delivery: This change order adds sixty (60) business days to the contract time for delivery.
- 3) Contract Hold: Contractor will hold this contract for acceptance forty-five (45) business days, and may choose to honor these terms beyond that time at their discretion.
- 4) Start and Continuity of Work: Upon acceptance of this change order by client and receipt of payment number 1 by contractor, the design stage will begin. In the event that the conditions described in section 4.a and 4.b are not met this change order shall become null and void except that payment number 1 is non-refundable. The start and execution of the construction stages of the work will be contingent upon the two following conditions;
- Receipt by the client of a certificate of approval for the work from the Frederick Historic Preservation Commission.
 - The work is performed while there is sufficient funding in the client's Foundation and Drainage construction budget to cover the full cost of this work.
- 5) Terms All other terms and conditions agreed upon in the original contract between Contractor and Client remain in effect throughout the duration of the work detailed in this proposal.

IN WITNESS WHEREOF, the parties have signed this Agreement below.

Contractor Representative: Dean C. Fitzgerald, President / CEO

Date: 11/14/11

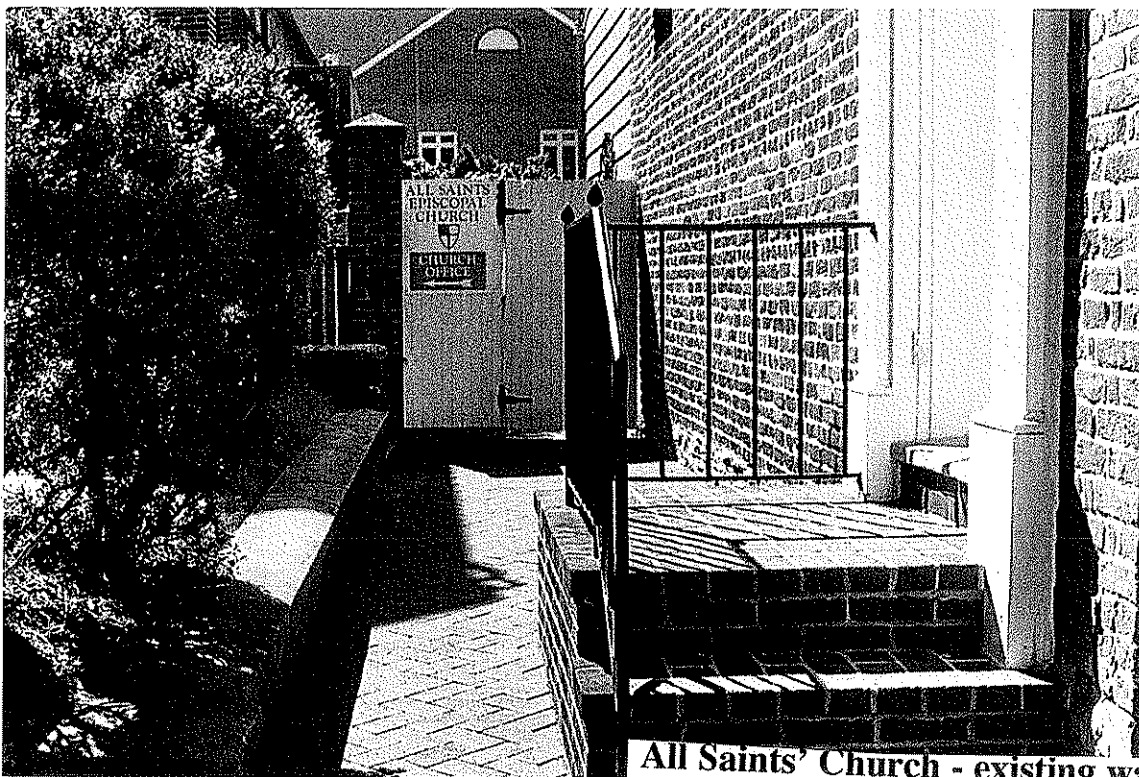
Client: Thomas A. [Signature]

Date: 11/11/11

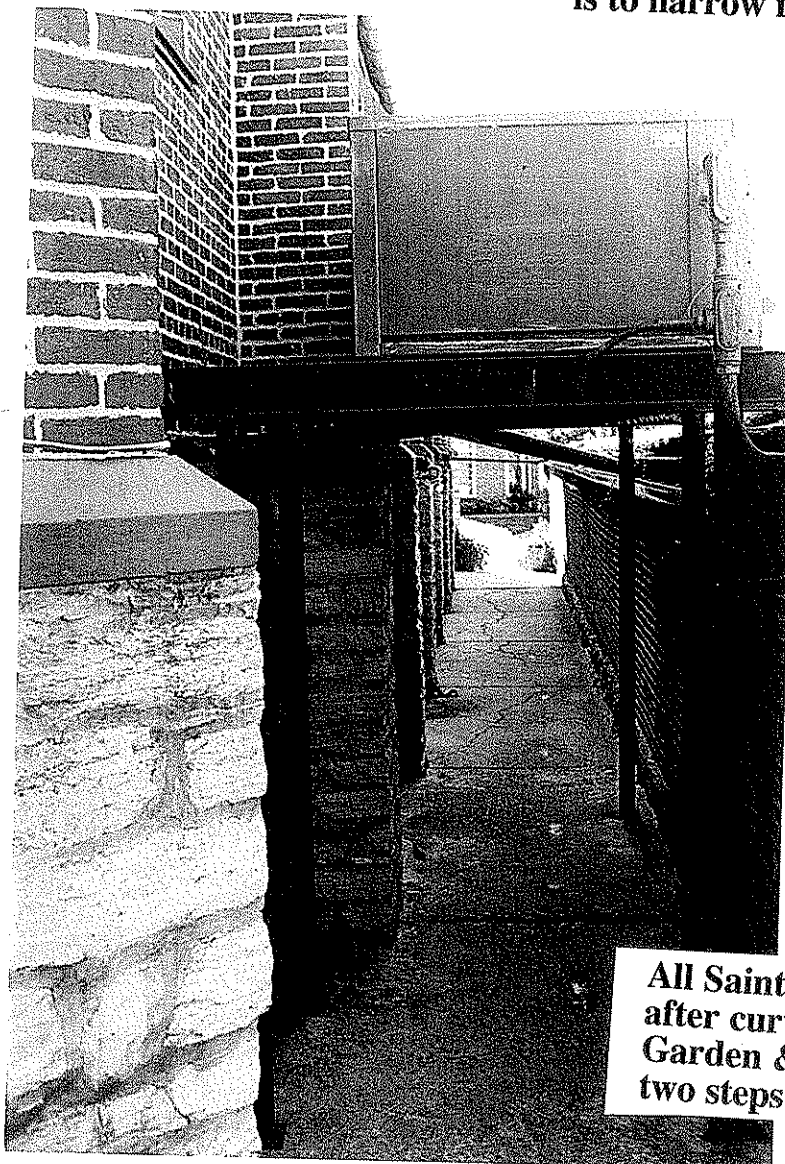
Client: _____

Date: _____

[Handwritten signature]



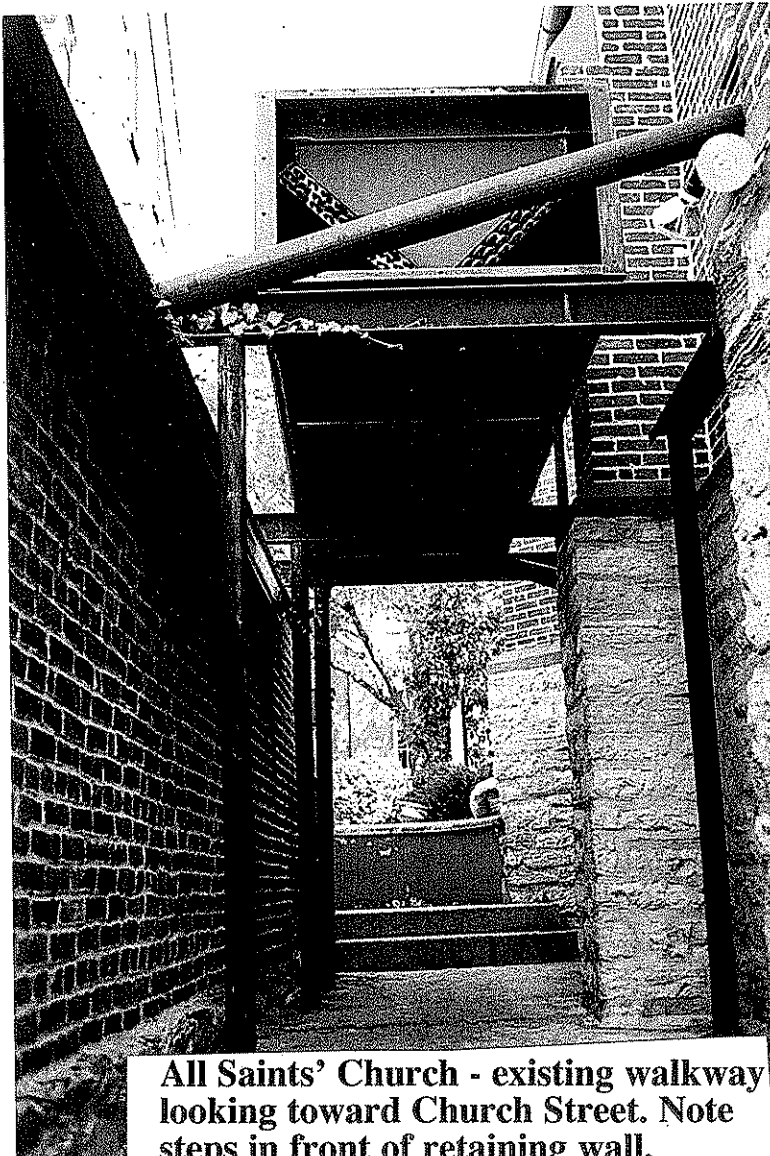
All Saints' Church - existing walkway from Church Street to Office Building, Memorial Garden & Coloumbarium. area between retaining wall and steps is too narrow for wheelchair.



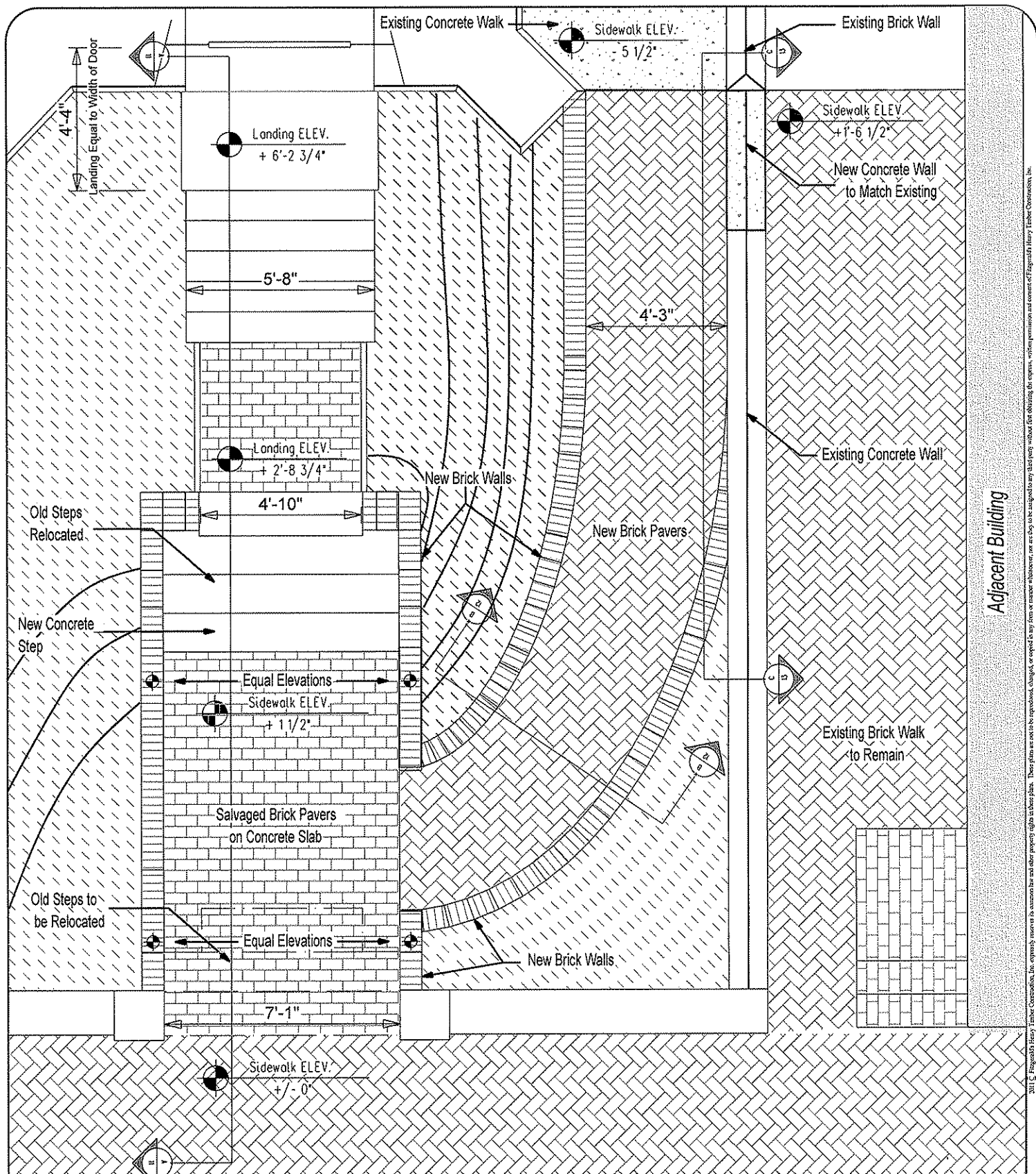
All Saints' Church - existing walkway after curve, to Office Building, Memorial Garden & Columbarium. Sidewalk is two steps below level of entry walk.



**All Saints' Church - existing walkway
looking toward Church Street.**



**All Saints' Church - existing walkway
looking toward Church Street. Note
steps in front of retaining wall.**



FITZGERALD'S
HEAVY TIMBER
 CONSTRUCTION
 301-898-9340
 www.heavytimber.net

DATE: 11-17-11
 Designer: Sam Owens
 Scale: 1/4"=1'-0"

All Saints Church
 Project ID:
 2D File: All Saints Slabs110511.2d

Ramp Plan w/ Grade Elevations Plan #: 10

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Landing Equal to Width of Door Sill - 1/4" - 1/2",
per City of Frederick Fire Code review, 11/15/11

4'-4"

Reinstall Existing Historic Hand Rail

Landing Extended to Overhang
~1-1/2' As Original

3'-0"

No. 4 Bar @ 12" o.c.

No. 4 Bar @ each nose

Approx. Existing Grade

Brick Pavers Reinstalled
Over Concrete Slab

Stone Steps
Relocated

New Concrete
Step

Rowlock Cap

Brick Wall

Brick Pavers Reinstalled
Over Concrete Slab

Existing Concrete Pier

CMU Below Grade

CMU

10" Concrete Slab

11'-8 1/2"

Slope ~ 1/8" per foot

Slope ~ 1/4" per foot

10" Concrete Slab Footing

Weep Holes

Drain Tile In Gravel Bed @ Base of Wall

City Of Frederick

NOTES:

- 1) Risers are to be 7" and treads 11"
- 2) Concrete = MHS-A Mix No. 2

HEAVY TIMBER
CONSTRUCTION

301-898-9340
www.heavytimber.net

DATE: 11-17-11

Designer: Sam Owens

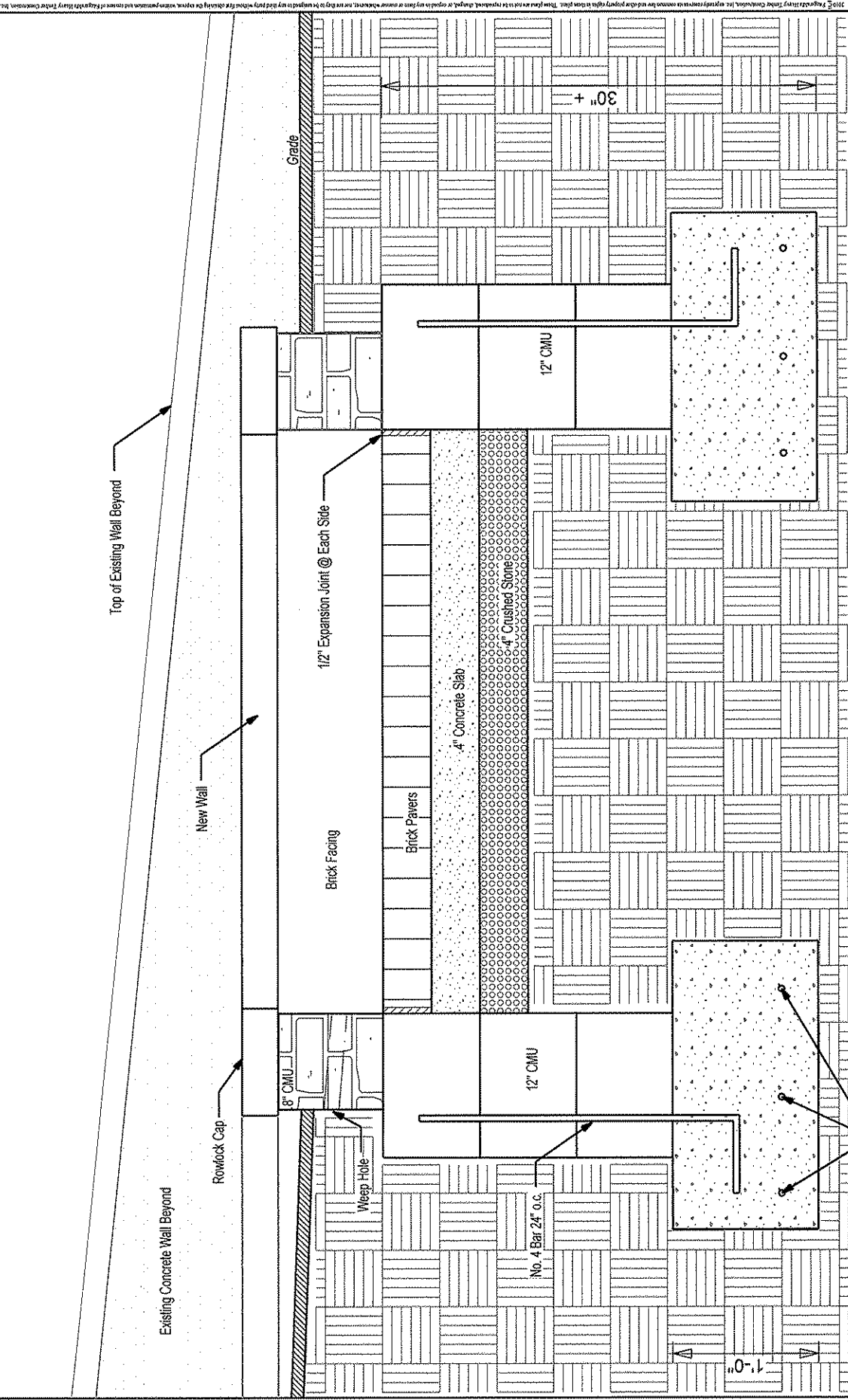
Scale: 1/4"=1'-0"

All Saints Church

Project #
20-PC- All Saints Church 11/15/11

Side Stairs Section A-A

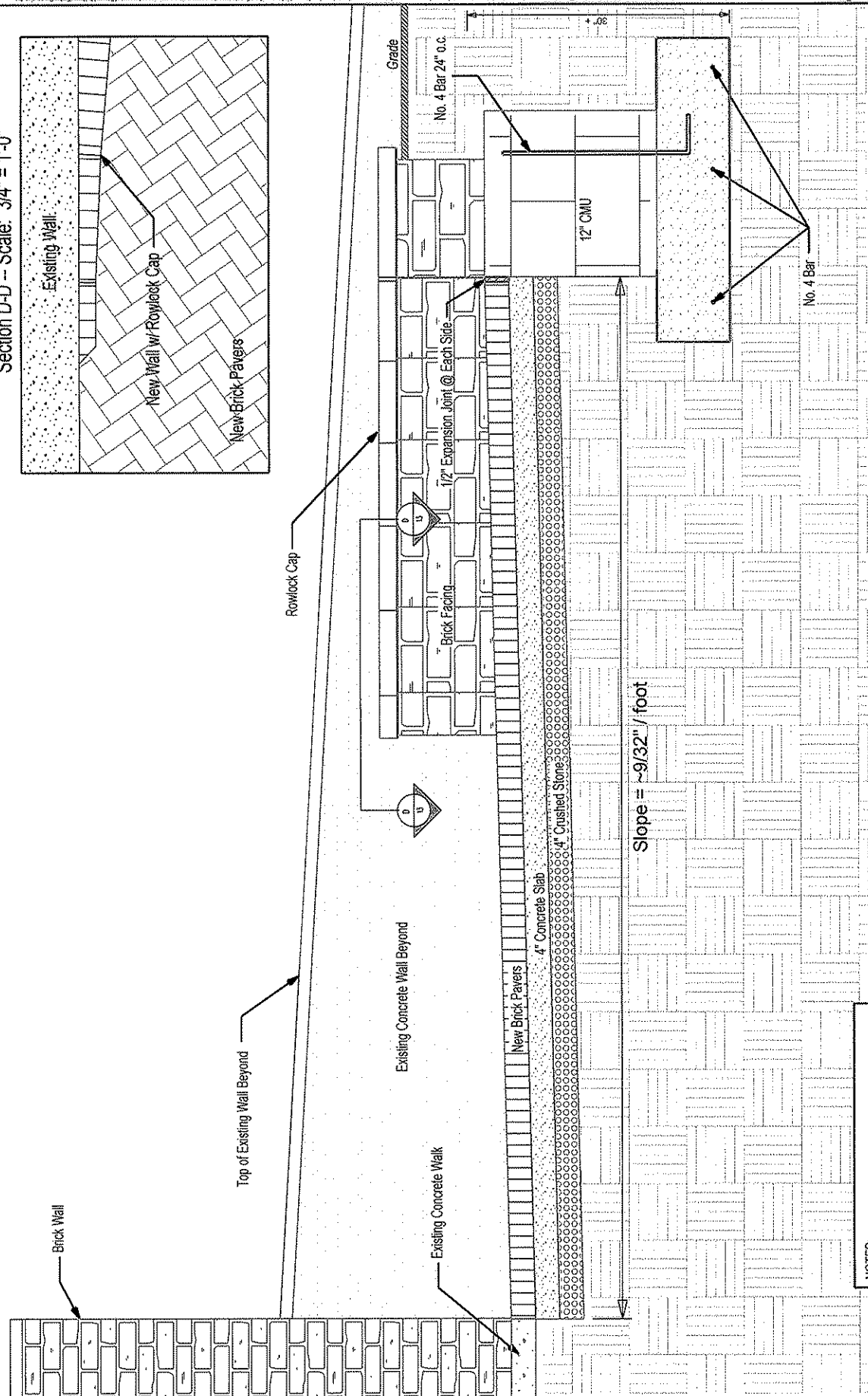
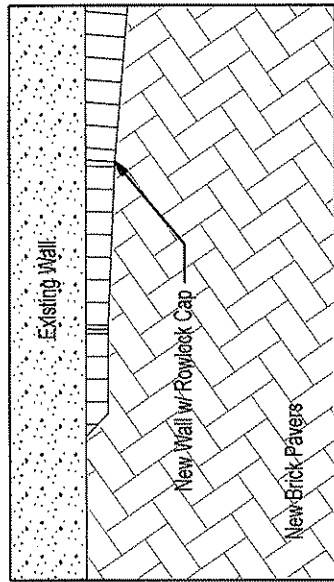
Plan #: 11



HEAVY TIMBER CONSTRUCTION 301-898-9340 www.heavytimber.net		DATE: 11-17-11 Designer: Sam Owens Scale: 1/2"=1'-0"	All Saints Church <small>Project: 2011-11-17-11 2011-11-17-11</small>	Plan #: 12
Ramp Section B-B				

2011-11-17-11 Heavy Timber Construction, Inc. represents to construct the retaining wall with property rights in this plan. This plan is not to be used for any other purpose without the express written permission of Heavy Timber Construction, Inc.

Section D-D -- Scale: 3/4" = 1'-0"



NOTES:
1) Wall shown in non-axial section -- NOT TO SCALE

**RITZGERALD'S
HEAVY TIMBER
CONSTRUCTION**
301-898-9340
www.heavytimber.net

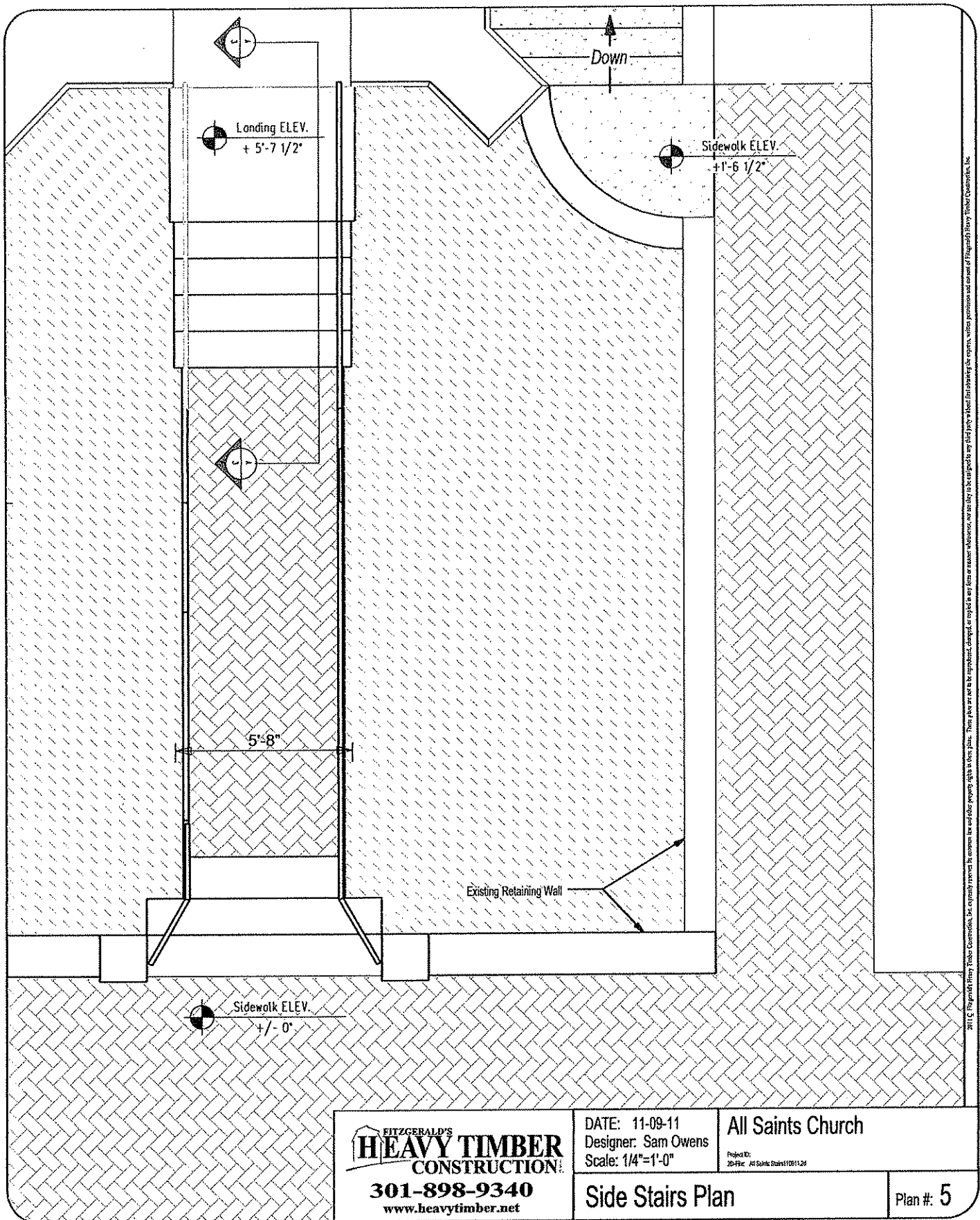
DATE: 11-17-11
Designer: Sam Owens
Scale: 1/2"=1'-0"

All Saints Church

Project:
Date: 11/16/11

Ramp Section C-C

Plan # 13



FITZGERALD'S
HEAVY TIMBER
 CONSTRUCTION
 301-898-9340
 www.heavytimber.net

DATE: 11-09-11
 Designer: Sam Owens
 Scale: 1/4"=1'-0"

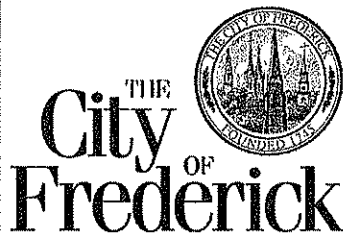
All Saints Church

Project ID:
 20-File: All Saints Stairs110911.dwg

Side Stairs Plan

Plan #: 5

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HISTORIC PRESERVATION COMMISSION

Hearing: TBD

Workshop: December 8, 2011

Preliminary Staff Report

PROJECT INFORMATION

CASE NUMBER: HPC11-734
CITATION ISSUED: No
ADDRESS: 56 S MARKET ST
APPLICANT NAME: 6601 Suitland Road, LLC
PREPARED BY: Lisa Mroszczyk
DATE: November 30, 2011

PROJECT DESCRIPTION

This application concerns alterations to a 19th century brick commercial building and a partial third story addition on the existing two story wing. The front façade of the building has been substantially altered. Work proposed in this application includes:

1. Addition of a center window at both the second and third floor on the front façade to match existing windows;
2. Installation of new storefront glazing;
3. Repair and painting the brick walls;
4. Removal of a portion of the building where the wing intersects the southeast corner of the main block and construct an open stairwell with decorative metal railings and new entrances at each level;
5. The addition of four new openings with double hung windows on each level of the south wall of the wing;
6. New window and doors openings on the wings east wall with balconies at the second and third floors.
7. Elimination of the shed roof on the two story wing and a partial third story addition constructed of brick to match the existing; and

ZONING AND DEVELOPMENT REVIEW PRELIMINARY ASSESSMENT

COMPLIANCE WITH HPC GUIDELINES

This application meets submission requirements: ☐ Yes ☐ No

This application meets the *Frederick Town Historic District Design Guidelines*:

☐ Yes ☐ No

STAFF COMMENTS:

Documentary and physical evidence indicates that the front façade of this building has been substantially altered by the removal of a cornice, the removal of three large double hung windows with decorative hoods at each floor and the addition of a storefront and two smaller double hung

windows at each upper floor. These alterations were likely undertaken in the 20th century. Additionally, it appears portions of the rear wing have been rebuilt. Although the general form of the building remains, staff finds that these alterations have affected the integrity of the building so that it is no longer contributing to the significance of the historic district.

The *Frederick Town Historic District Design Guidelines* and Article 66B state that the Commission, “may not strictly judge plans for a site or structure of little historic, archeological, or architectural significance...unless the plans would seriously impair the historic, archeological, or architectural significance of the surrounding site or structure” (p. 15). While the building’s significance has been diminished, it should be noted that the historic sign on the north side of the main block is an artifact of Frederick’s history. Based on this, staff provides the following comments:

1. The *Guidelines* do not provide language specific to this situation but they do state that, “Replacement windows on the street-facing façade must match the existing windows, unless all the windows will be replaced” (p. 70). Since the applicant is not proposing to alter the existing windows at the second and third floors, it is appropriate for the new windows to match the dimensions and configuration of those windows.
2. If the glazing is to be replaced with clear glass, staff has no comment on this aspect of the proposal. Tinted glass should not be used. Additional information will need to be provided if there will be any additional work to the storefront.
3. Before the hearing the applicant will need to clarify the full scope of repairs to the brick walls including any areas of replacement, reconstruction or repointing and specify materials and products. Regarding the painting of brick, the Commission’s *Guidelines* state, “The painting or coating of masonry structures that are not currently painted or coated will not be approved, except in those cases where it will help stabilize deteriorating brick” (p. 46). The application indicates the purpose of painting the brick is to bring uniformity to the building, not to help stabilize deteriorating brick. The scope of work does not limit the area of painting and therefore it is assumed it will cause the loss of an important historic sign.
4. Based on comments in #7 below, it is staff’s opinion that the form of the building’s main block should be retained and the stairwell constructed outside of that entirely within area now occupied by the wing. The landings at the stair extend over the property line which will not be permitted by building code. A simpler, more industrial style railing may be more appropriate based on the building’s character.
5. Based on staff’s interpretation that this building is non-contributing, that most of the south wall was concealed by adjoining buildings until the recent past and because it is not be visible from a public way, staff does not have any concerns on the proposal to create new window openings along the rear wing provided it complies with building codes.¹
6. Since this is a non-contributing building, there is some flexibility with altering the existing structure but it should remain generally compatible with the character of adjacent properties and the district. With this in mind, staff provides the following comments:

¹ According to GIS maps and the submitted plans, the south wall may be on, partially on or within three feet of the property line. New windows or doors must be at least three feet from interior lot lines.

- Uncovered porches or decks are uncommon features in this urban historic district. To be more compatible with the district and nearby properties, staff suggests, at a minimum, that a porch roof be added at the third floor. It would also be more appropriate for the porches to extend the full width of the building.
- The relationship between the divisions in the windows, doors and transoms is incompatible. Staff suggests simplifying the design by moving to 1/1 windows and full view doors.
- Add a transom at the first floor door or raise the height of the first floor door and add a stoop.
- Consider simpler railings that are more in line with the building's character.
- Based on the comments in #7 below, the treatment of the third floor addition may need to be modified to maintain integrity of the historic sign.

Additionally, the applicant should correct discrepancies of the existing roof line as shown on the rear elevation and side elevations.

7. While the building's architectural integrity has been compromised, the Commission's *Guidelines* do encourage the retention of historic signs stating, "Historic signs must be identified, repaired and preserved, including signs that have been deemed historic by the Commission and that are painted directly on buildings. They should be preserved even if their commercial or advertising value no longer applies" (p. 113). Given these guidelines and the historic sign on the north side of the building, staff's primary concern with the proposed addition is that it detracts from the historic sign. Under the current proposal the addition's north wall will be continuous and indistinguishable from the existing building's north wall where the sign is located. The sign's form is based on the unique shape of the building's main block. At minimum, staff suggests stepping the addition down and back so the form of the main block remains distinct and the historic sign preserved. Another option would be to use a different material for the addition.

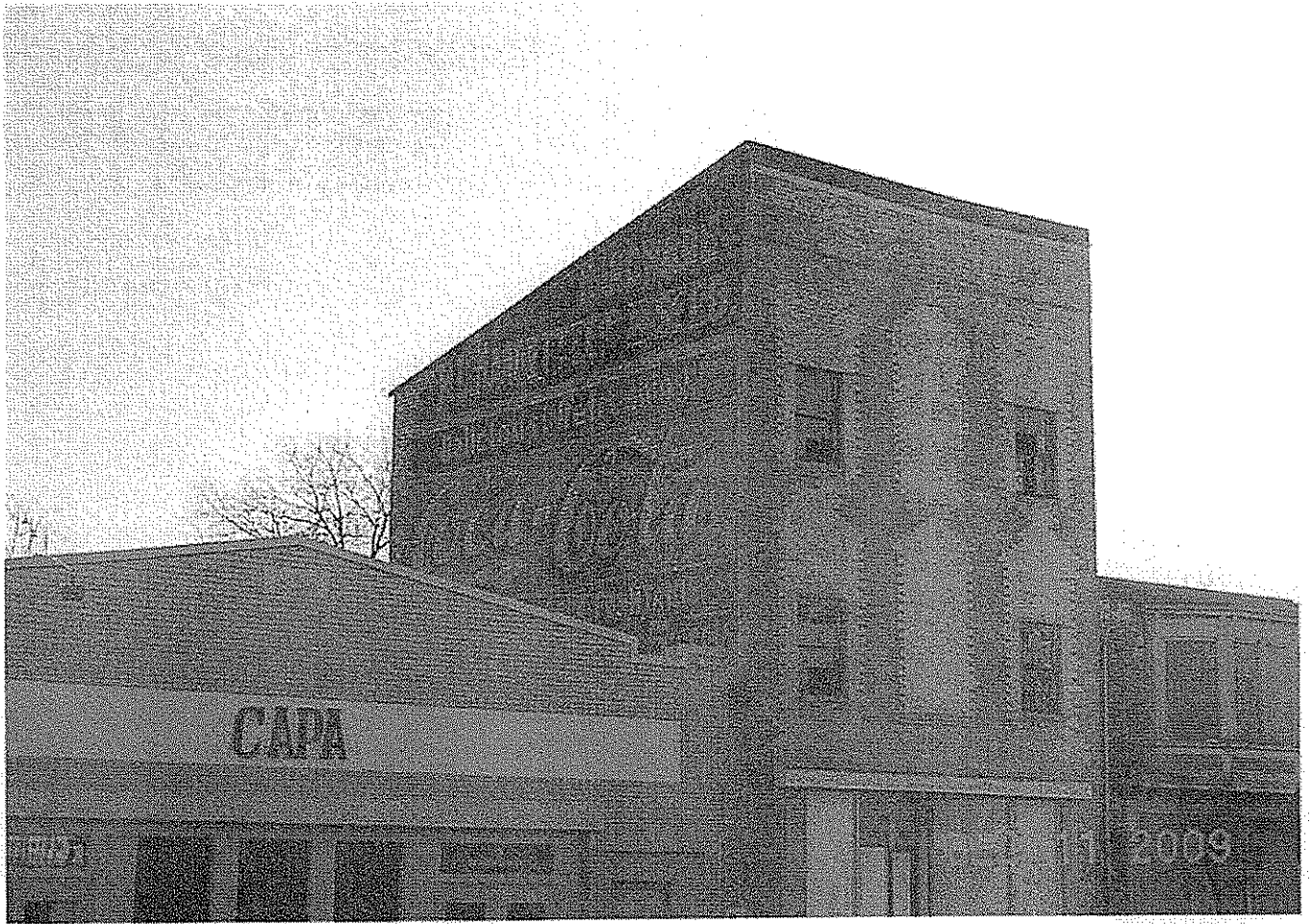
STAFF RECOMMENDATION

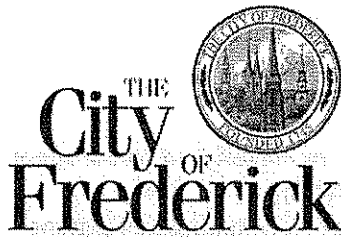
A recommendation will be made at the hearing.

Application determined technically complete:

Lisa Mroszczyk, Historic Preservation Planner

Matthew Davis, AICP, Manager of Comprehensive Planning





HISTORIC PRESERVATION COMMISSION

Hearing: TBD

Workshop: December 8, 2011

Preliminary Staff Report

PROJECT INFORMATION

CASE NUMBER: HPC11-735
CITATION ISSUED: No
ADDRESS: 58-62 S MARKET ST
APPLICANT NAME: 6601 Suitland Road LLC
PREPARED BY: Lisa Mroszczyk
DATE: November 21, 2011

PROJECT DESCRIPTION

This application concerns Level 1 review of architectural drawings for a new three story building constructed in two parts. The front section will incorporate an existing freestanding brick façade that is the only remnant from an earlier building on this site with the addition of a mansard roof and dormers. The rear section of the proposed building will also feature a mansard roof and dormers. Raised open walkways and stairways will connect the two sections across a courtyard.

The proposed design features:

- A standing seam metal roof;
- Brick and fiber cement cladding;
- Double hung windows and transoms;
- Multi-light and six panel doors;
- Decorative metal railings, metal fencing and gates; and
- Classical style columns.

ZONING AND DEVELOPMENT REVIEW PRELIMINARY ASSESSMENT

The applicant shall obtain conditional or unconditional final site plan approval after the Commission issues a Level 1 Certificate of Approval and before the Commission commences Level 2 review. A separate application is required for Level 2 review.

COMPLIANCE WITH HPC GUIDELINES

This application meets submission requirements: ☐ Yes ☐ No

This application meets the *Frederick Town Historic District Design Guidelines*:

☐ Yes ☐ No

STAFF COMMENTS:

Per Section 423 of the LMC, during Level 1 review the Commission will consider the location, footprint, massing, height, setback, scale, façade, roof form, materials and plot plan using the criteria in the *Frederick Town Historic District Guidelines*. During the Level 2 review, the Commission will consider the proposal in more detail including texture, openings, lighting,

landscaping, site plan, final articulation, detailed façade elevations and fenestration. Specific product information and cut sheets will be reviewed during the Level 2 review.

Plot Plan, Location, Setback and Footprint

- “New construction should maintain the setback line that has been established on the street and respond to the predominant pattern of spacing between buildings.” (p. 139)
- “The layout of features must be consistent with the site plans of surrounding lots that are in keeping with the Historic District.” (p. 141)
- “The footprint of new construction should have an intentional relationship to the footprint of adjacent historic buildings.” (p. 141)

By incorporating what remains of the existing façade, the new building maintains an appropriate setback. The building’s footprint and layout are appropriate and compatible with the adjacent properties.

Massing, Height, Scale and Roof Form

- “With few exceptions, the massing of a building should relate to the massing of buildings in the vicinity of new construction.” (p. 139)
- “In order to preserve the unique qualities of the historic district and streetscape, new construction should be designed so that it is visual compatible with neighboring structures and with the predominant pattern of the block.” (p. 139)
- “New buildings should have a scale consistent with surrounding buildings and reflect the human scale that characterizes the entire Historic District.” (p. 141)
- “New roofs should respond to forms that are common in the Historic District... Their form, orientation and height should be compatible with surrounding buildings and typical applications.” (p. 141)

The massing, scale and height of the proposed building are appropriate. The mansard roof at the street is appropriate and will improve the streetscape although its use on the rear is more unusual. The mansard puts an inappropriate emphasis on the rear of the building where styling is generally simplified. At a minimum, staff suggests a flat roof be incorporated on the rear where it will be visible from the Carroll Creek Linear Park. Since the interior mansard roofs will not be visible from any public way, staff would not have any concerns if they are to remain but would support flat roofs in these locations as well.

Additionally, decks are uncommon features in the historic district while porches are more typical. Staff suggests a roof should be incorporated at the second floor. Without a mansard at the third floor, staff anticipates a porch roof could be integrated into the design.

Façade and Materials

- “The elevations of new construction should reflect a hierarchy of design, with the street-facing elevation defining the style and general impression of the building. The side and back elevations usually have little ornamentation.” (p. 142)
- “The composition of the street-facing façade should respond to historic patterns that have developed for particular types of buildings.” (p. 143)

- Traditional materials are “suggested for use in new construction and are generally considered to be compatible throughout the Historic District. Other materials may also be considered compatible and will be reviewed on a case-by-case basis and evaluated based on their contribution to the integrity of the overall design...” (p. 142)
- “Generally, wood windows are appropriate, but in some cases non-wood windows that have a quality of material, design and construction which is commensurate with that typically found in the historic district may be approved. Vinyl, and vinyl clad windows are prohibited.” (p. 145)
- “Generally, wood doors are appropriate unless they are part of a commercial/public metal storefront system. Non-wood doors will be reviewed on a case-by-case basis and evaluated for their quality of material, detail and construction and contribution to the overall design.” (p. 145)

The use of standing seam metal, fiber cement siding and brick are appropriate for new construction. Not all materials have been specified at this time. Additional comments will be forthcoming once those materials are submitted. Staff notes the following concerns regarding façade and materials at this time:

- The classical style columns put additional emphasis on the rear of the building. This does not follow the hierarchy of design that is typical in this historic district.
- Using a flat roof on the rear of the building, as discussed above, would help to deemphasize the rear of the building.
- The design and scale of the proposed columns implies that they are made of wood or a material intended to replicate the qualities of wood. This is incompatible with the proposed metal railings at the second floor deck. If the classical columns are utilized, the railing and decking should be of a compatible material and design.
- If the metal railings are utilized, on either the rear or on the interior open walkways, a concrete or metal deck is appropriate and any columns should also be metal.

Although the fenestration will be discussed in more detail in Level 2, staff suggests eliminating the horizontal divisions in the transoms.

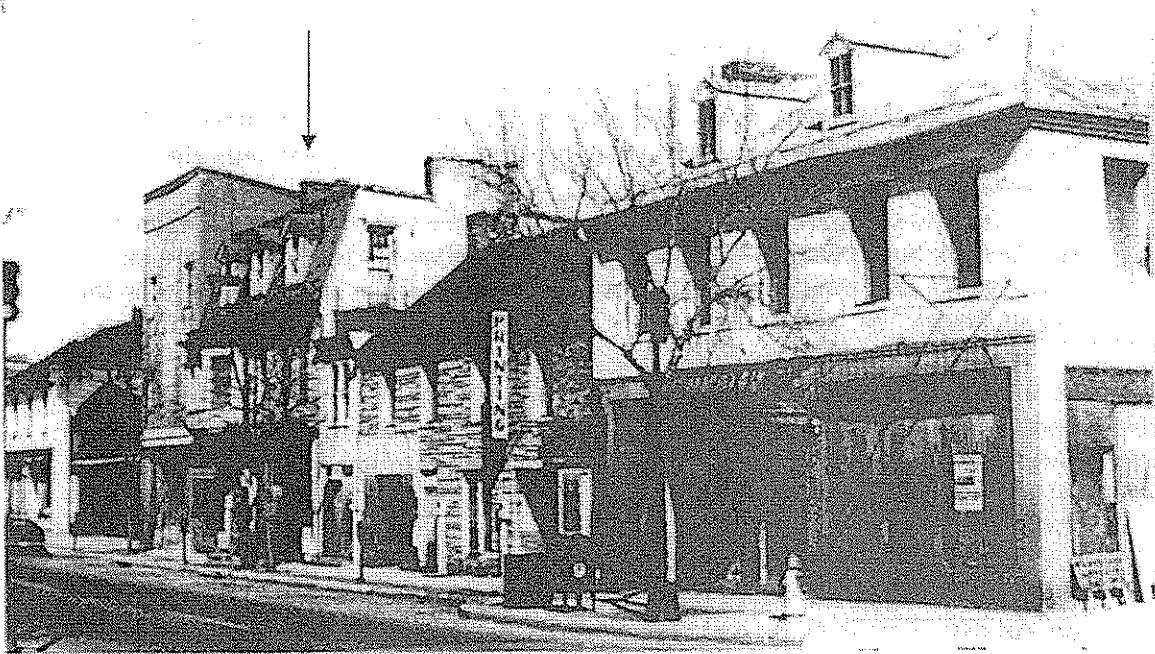
STAFF RECOMMENDATION

A recommendation will be made at the hearing.

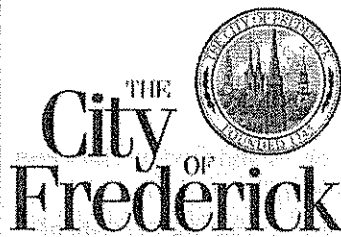
Application determined technically complete:

Lisa Mroszczyk, Historic Preservation Planner

Matthew Davis, AICP, Manager of Comprehensive Planning



Planning Department file photo, 1987



HISTORIC PRESERVATION COMMISSION

Hearing: TBD

Workshop: December 8, 2011

Preliminary Staff Report

PROJECT INFORMATION

CASE NUMBER: HPC11-736
CITATION ISSUED: No
ADDRESS: 66-70 S MARKET ST
APPLICANT NAME: 6601 Suitland Road LLC
PREPARED BY: Lisa Mroszczyk
DATE: November 22, 2011

PROJECT DESCRIPTION

This application concerns Level 1 review of architectural drawings for a new building constructed in two parts. The front section will be two stories with a gable roof and incorporate an existing freestanding brick façade that is the only remnant from an earlier building on this site. The rear section will be three stories with a mansard roof and dormers. Raised open walkways and stairways will connect the two sections across a courtyard. The proposed design features:

- A standing seam metal roof;
- Brick and fiber cement cladding;
- Double hung windows;
- Multi-light and six panel doors;
- Decorative metal railings, metal fencing and gates; and
- Classical style columns.

ZONING AND DEVELOPMENT REVIEW PRELIMINARY ASSESSMENT

The applicant shall obtain conditional or unconditional final site plan approval after the Commission issues a Level 1 Certificate of Approval and before the Commission commences Level 2 review. A separate application is required for Level 2 review.

COMPLIANCE WITH HPC GUIDELINES

This application meets submission requirements: ☐ Yes ☐ No

This application meets the *Frederick Town Historic District Design Guidelines*:

☐ Yes ☐ No

STAFF COMMENTS:

Per Section 423 of the LMC, during Level 1 review the Commission will consider the location, footprint, massing, height, setback, scale, façade, roof form, materials and plot plan using the criteria in the *Frederick Town Historic District Guidelines*. During the Level 2 review, the Commission will consider the proposal in more detail including texture, openings, lighting,

landscaping, site plan, final articulation, detailed façade elevations and fenestration. Specific product information and cut sheets will be reviewed during the Level 2 review.

Plot Plan, Location, Setback and Footprint

- “New construction should maintain the setback line that has been established on the street and respond to the predominant pattern of spacing between buildings.” (p. 139)
- “The layout of features must be consistent with the site plans of surrounding lots that are in keeping with the Historic District.” (p. 141)
- “The footprint of new construction should have an intentional relationship to the footprint of adjacent historic buildings.” (p. 141)

By incorporating what remains of the existing façade, the new building maintains an appropriate setback and presence on the street. The building’s footprint and layout are appropriate and compatible with the adjacent properties. Staff does note that due to its location and footprint, the rear of this building will be less visible from Carroll Creek Linear Park than the proposed building to the north (HPC11-735, 58-62 S. Market St).

Massing, Height, Scale and Roof Form

- “With few exceptions, the massing of a building should relate to the massing of buildings in the vicinity of new construction.” (p. 139)
- “In order to preserve the unique qualities of the historic district and streetscape, new construction should be designed so that it is visual compatible with neighboring structures and with the predominant pattern of the block.” (p. 139)
- “New buildings should have a scale consistent with surrounding buildings and reflect the human scale that characterizes the entire Historic District.” (p. 141)
- “New roofs should respond to forms that are common in the Historic District... Their form, orientation and height should be compatible with surrounding buildings and typical applications.” (p. 141)

The massing, scale and height of the proposed building are appropriate although the mansard roof at the rear is unusual. Its use places an inappropriate emphasis on the rear of the building where styling is generally simplified. A shed roof, flat roof or low gable roof would be more appropriate forms for the rear of a building. Additionally, decks are primarily associated with twentieth century suburban development and are therefore uncommon in this urban historic district where porches are traditional features. For these reasons, staff suggests a roof should be incorporated at the second floor. Without a mansard at the third floor, staff anticipates a porch roof could be integrated into the design.

Façade and Materials

- “The elevations of new construction should reflect a hierarchy of design, with the street-facing elevation defining the style and general impression of the building. The side and back elevations usually have little ornamentation.” (p. 142)
- “The composition of the street-facing façade should respond to historic patterns that have developed for particular types of buildings.” (p. 143)
- Traditional materials are “suggested for use in new construction and are generally considered to be compatible throughout the Historic District. Other materials may also

be considered compatible and will be reviewed on a case-by-case basis and evaluated based on their contribution to the integrity of the overall design..." (p. 142)

- "Generally, wood windows are appropriate, but in some cases non-wood windows that have a quality of material, design and construction which is commensurate with that typically found in the historic district may be approved. Vinyl, and vinyl clad windows are prohibited." (p. 145)
- "Generally, wood doors are appropriate unless they are part of a commercial/public metal storefront system. Non-wood doors will be reviewed on a case-by-case basis and evaluated for their quality of material, detail and construction and contribution to the overall design." (p. 145)

The use of standing seam metal, fiber cement siding and brick are appropriate for new construction. Not all materials have been specified at this time. Additional comments will be forthcoming once those materials are submitted. Staff notes the following concerns regarding façade and materials at this time:

- The classical style columns put additional emphasis on the rear of the building. This does not follow the hierarchy of design that is typical in this historic district.
- Using a different roof form on the rear of the building, as discussed above, would help to deemphasize the rear of the building.
- The design and scale of the proposed columns implies that they are made of wood or a material intended to replicate the qualities of wood. This is incompatible with the proposed metal railings at the second floor deck. If the classical columns are utilized, the railing and decking should be of a compatible material and design.
- If the metal railings are utilized, on either the rear or on the interior open walkways, a concrete or metal deck is appropriate and any columns should also be metal.

STAFF RECOMMENDATION

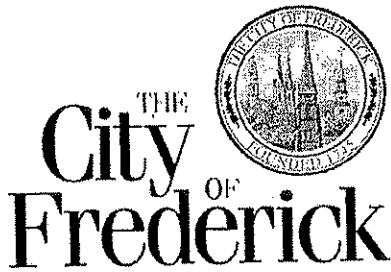
Application determined technically complete:

Lisa Mroszczyk, Historic Preservation Planner

Matthew Davis, AICP, Manager of Comprehensive Planning



Planning Department file photo, 1987



Level 1 – New Construction

For Official Use Only	
HPC Case Number:	
Date Submitted:	Amt. Paid:
Hearing Date:	
Fee Schedule	
Single Family/Duplex & Outbuilding(s) (2 or less units)	\$50.00
All Other (including non-residential outbuildings)	
Commercial & Multi-family (less than \$5000 improvement)	\$ 100.00
Commercial & Multi-family (greater than \$5000 improvement)	\$1,000.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION LEVEL 1 - NEW CONSTRUCTION

Level 1 applications must describe proposed construction in terms of the location, footprint, massing, plot plan, setbacks, massing, height, scale, roof form, facades, and materials. All new construction in the historic district must comply with the *Frederick Town Historic District Design Guidelines* and the *Secretary of the Interior's Standards and Guidelines for Rehabilitation*. The guidelines are available on the City's website (www.cityoffrederick.com), at the C. Burr Artz Library, and in the Planning Department at Municipal Office Annex, 140 West Patrick Street.

Instructions. This form must be completed in its entirety, with attachments, before it will be considered. Incomplete applications can result in project delays. Submit the original application, required fees, and THIRTEEN (13) copies of the application with supporting documents no later than 1:00 p.m. on the first of third Thursday of the month, to be considered at the next workshop and hearing. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS <u>56 S. MARKET STREET</u>		Tax ID: <u>129248</u>
<u>FREDERICK, MD 21701</u>		Lot Number: <u>642A-1</u>
OWNER INFORMATION		
Name: <u>6601 SUITLAND ROAD LLC</u>		
Firm/Company:		
Address: <u>2117 EDGEWARE STREET</u>		
City/State/Zip: <u>SILVER SPRING, MD 20905</u>		
Phone: <u>240-350-9693</u>		email: <u>tarekaly1@aol.com</u>
AGENT INFORMATION (Agent Authorization Form required if owner will not represent the property)		
Agent Name: <u>(SAME)</u>		
Firm/Company:		
Address:		
City/State/Zip:		
Phone:		Email:
BRIEFLY DESCRIBE PROPOSED CONSTRUCTION (details required in Scope of Work)		
<u>REHABILITATE EXISTING MASONRY SHELL AS PRACTICABLE; DEMOLISH INTERIOR</u>		
<u>AND REBUILD; ADD THIRD LEVEL AT REAR PORTION OF BUILDING.</u>		
DESCRIBE EXISTING CONDITIONS		
<u>EXISTING BRICK SHELL IN NEED OF REPAIR; INTERIOR WOOD STRUCTURE,</u>		
<u>INCLUDING ROOF DECK, LARGELY DETERIORATED AND PARTIALLY COLLAPSED</u>		

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* _____ (initial)

- ☒ Please check here if the HPC and staff have permission to enter the yard to view the project.
- ☐ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

Property Owner or Agent Signature

Date

HISTORICAL INFORMATION (use additional sheets, if necessary)

Briefly describe what is known about the history of this site.

LITTLE HAS BEEN FOUND REGARDING THE HISTORY OF THIS SITE. THE BUILDING HAS BEEN CONSISTENTLY LABELED AS A HARDWARE STORE ON THE SANBORN FIRE MAPS SINCE 1887. NO APPARENT CHANGES TO THE FOOTPRINT HAVE BEEN MADE. NO PHOTOGRAPHS OF THE EARLIEST ELEVATION HAVE BEEN FOUND.

Describe other buildings on the site and provide information about their history.

NO OTHER BUILDINGS ARE EXTANT ON THIS LOT. ADJACENT TO THE NORTH IS AN ALREADY-REHABILITATED STRUCTURE CURRENTLY IN USE AS A RUG SHOP. ADJACENT TO THE SOUTH IS A NEARLY VACANT LOT WITH AN EXISTING MASONRY FACADE ON IT, ALSO PROPOSED TO BE REHABILITATED.

PRIOR HPC CASES

Hearing Date	Case Number	Work Approved or Denied

CHECKLIST OF REQUIREMENTS

The following materials must be submitted by the application deadline. Additional information may be required by staff or HPC. Applicants will be notified if submitted material is inadequate.

Check items that are included in the application package.

- ☒ **Written scope of work.** The scope of work must be a detailed explanation of the proposed new construction. Please describe other buildings on the lot and the affect of new construction on those and other nearby historic structures. Include other information that will help the Commission evaluate the proposal. The explanation of the proposed structure, the design philosophy and the scope of work must be given.
- ☒ **Photos of existing conditions.** Original images and copies must be clear and must capture **all** sides of the building, the site, and any exterior building elements directly affected by the proposed rehabilitation. Only one original, color photo of each view is required. The 13 copies can be black-and-white or color photocopies. Please label each photo with the address of the property, HPC case number, the view, and the date.
- ☒ **Drawings.** Plans submitted must be folded to 8 ½ x 11".
 - **Elevations** – Showing massing, height, scale, façade, roof forms, and materials.
 - **Plot Plan** – Indicating lot lines; adjacent streets, alleys, and buildings; location, footprint, and setback of new construction; proposed site features, such as fences and paving.
- ☐ **Attend workshop and hearing.** Workshop and hearing attendance is mandatory for a case to be heard by the HPC.

After the Level 1 approval, the applicant must get final site plan approval from the Planning Commission then submit the Level 2 New Construction application to the Historic Preservation Commission.

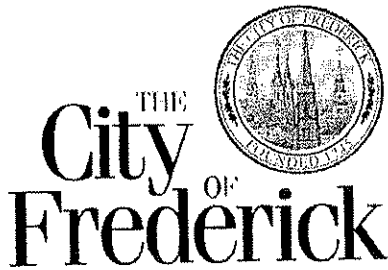
Proposed Scope of Work

56 South Market Street

We propose to rehabilitate the existing building shell as feasible, plus add one more level at the rear of the structure (bringing the entire building, not merely the front section, to 3 levels), to provide retail/office space on the lower level/ Market Street side plus a total of five residential apartments, per attached schematic plans. The three-story street facade would be maintained, with new storefront glazing at the street level and additional fenestration added in the evident location of previous windows for a total of three windows per floor above ground level at the front. Fenestration would also be added to the right side and rear facades, once the apartment units are designed. We further propose to repair and paint the existing brick, as the existing brickwork is a mix of different colors as the building was altered over time.

Our intent is to maintain the existing masonry shell to the fullest extent practicable. While there has been no structural walk-through performed as of the time of this application, our hope is to retain not only the street front, but also the long side wall and rear wall of the structure. If the existing brick walls are unsound, we would intend to demolish and rebuild them; in this event, we would request permission to use siding on the side and rear walls, to visually lighten the walls and be consistent with the proposed buildings on Lots 58-62 and 66-70. The interior will need to be gutted and fully rebuilt.

In short, the design intent is very straightforward: to maintain the building in essence as is, to bring the front elevation up to a better-maintained, more cohesive appearance, and add nothing that would compromise the view from Market Street.



Level 1 – New Construction

For Official Use Only	
HPC Case Number:	
Date Submitted:	Amt. Paid:
Hearing Date:	
Fee Schedule	
Single Family/Duplex & Outbuilding(s) (2 or less units) \$50.00	
All Other (including non-residential outbuildings)	
Commercial & Multi-family (less than \$5000 improvement)	\$ 100.00
Commercial & Multi-family (greater than \$5000 improvement)	\$1,000.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION LEVEL 1 - NEW CONSTRUCTION

Level 1 applications must describe proposed construction in terms of the location, footprint, massing, plot plan, setbacks, massing, height, scale, roof form, facades, and materials. All new construction in the historic district must comply with the *Frederick Town Historic District Design Guidelines* and the *Secretary of the Interior's Standards and Guidelines for Rehabilitation*. The guidelines are available on the City's website (www.cityoffrederick.com), at the C. Burr Artz Library, and in the Planning Department at Municipal Office Annex, 140 West Patrick Street.

Instructions. This form must be completed in its entirety, with attachments, before it will be considered. Incomplete applications can result in project delays. Submit the original application, required fees, and THIRTEEN (13) copies of the application with supporting documents no later than 1:00 p.m. on the first of third Thursday of the month, to be considered at the next workshop and hearing. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS <u>58-62 S. MARKET STREET</u> Tax ID: <u>092530</u>	
<u>FREDERICK, MD 21701</u> Lot Number: <u>643A</u>	
OWNER INFORMATION	
Name:	<u>6601 SUITLAND ROAD LLC</u>
Firm/Company:	
Address:	<u>2117 EDGEWARE STREET</u>
City/State/Zip:	<u>SILVER SPRING, MD 20905</u>
Phone:	<u>240-350-9693</u> email: <u>farekaly1e@aol.com</u>
AGENT INFORMATION (Agent Authorization Form required if owner will not represent the property)	
Agent Name:	<u>(SAME)</u>
Firm/Company:	
Address:	
City/State/Zip:	
Phone:	Email:
BRIEFLY DESCRIBE PROPOSED CONSTRUCTION (details required in Scope of Work)	
<u>REHABILITATE EXISTING MASONRY FACADE AS PRACTICABLE; CONSTRUCT A NEW</u>	
<u>BUILDING BEHIND, THREE STORIES IN TWO NEARLY DISCRETE SECTIONS</u>	
DESCRIBE EXISTING CONDITIONS	
<u>EXISTING, DETERIORATED BUT RELATIVELY STABILIZED BRICK FACADE</u>	

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* _____ (initial)

- ☒ Please check here if the HPC and staff have permission to enter the yard to view the project.
- ☐ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

Property Owner or Agent Signature

Date

HISTORICAL INFORMATION (use additional sheets, if necessary)

Briefly describe what is known about the history of this site.

LITTLE HAS BEEN FOUND REGARDING THE HISTORY OF THIS SITE. THE LONGEST-RUNNING USE SEEMS TO HAVE BEEN AS A SALOON AND ADJACENT CIGAR STORE, WITH, FOR MANY YEARS, A BOWLING ALLEY (WITH IRON COLUMNS) BEHIND.

Describe other buildings on the site and provide information about their history.

NO OTHER BUILDINGS ARE EXTANT ON THIS SITE. ADJACENT TO THE NORTH IS AN EXISTING BRICK SHELL, ALSO PROPOSED TO BE REHABILITATED. ADJACENT TO THE SOUTH IS A NEARLY VACANT LOT WITH AN EXISTING MASONRY FACADE ON IT, ALSO PROPOSED TO BE REHABILITATED.

PRIOR HPC CASES

Hearing Date	Case Number	Work Approved or Denied

CHECKLIST OF REQUIREMENTS

The following materials must be submitted by the application deadline. Additional information may be required by staff or HPC. Applicants will be notified if submitted material is inadequate.

Check items that are included in the application package.

- ☒ **Written scope of work.** The scope of work must be a detailed explanation of the proposed new construction. Please describe other buildings on the lot and the affect of new construction on those and other nearby historic structures. Include other information that will help the Commission evaluate the proposal. The explanation of the proposed structure, the design philosophy and the scope of work must be given.
- ☒ **Photos of existing conditions.** Original images and copies must be clear and must capture **all** sides of the building, the site, and any exterior building elements directly affected by the proposed rehabilitation. Only one original, color photo of each view is required. The 13 copies can be black-and-white or color photocopies. Please label each photo with the address of the property, HPC case number, the view, and the date.
- ☒ **Drawings.** Plans submitted must be folded to 8 ½ x 11".
 - **Elevations** – Showing massing, height, scale, façade, roof forms, and materials.
 - **Plot Plan** – Indicating lot lines; adjacent streets, alleys, and buildings; location, footprint, and setback of new construction; proposed site features, such as fences and paving.
- ☐ **Attend workshop and hearing.** Workshop and hearing attendance is mandatory for a case to be heard by the HPC.

After the Level 1 approval, the applicant must get final site plan approval from the Planning Commission then submit the Level 2 New Construction application to the Historic Preservation Commission.

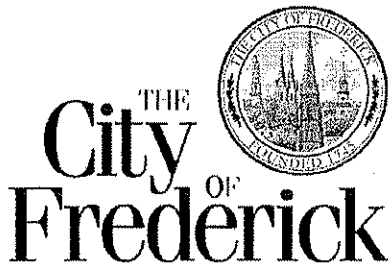
Proposed Scope of Work

58-62 South Market Street

The existing parcel includes no structures at this time beyond a deteriorated but relatively stabilized brick facade (see photograph). Our intent is to retain and rehabilitate the existing facade as practicable and construct a new building behind it which comprises two linked structures, the front (Market Street) one of which approximately replicates the original massing and scale, including roofline, of the original building, and the rear one of which is harmonious with the front building and proposed adjacent building in height, scale, massing, roofline, fenestration and materiality.

We propose to construct three stories, one within the mansard/gambrel roof, to provide retail/office space on the lower level/ Market Street side plus a total of five residential apartments, per attached plans. Again, the Market Street facade would be retained, with new storefront glazing at the street level and new windows in the existing openings above, plus dormer windows in the new roof. (It is possible that window type or size might have to change, once the apartments are designed, to meet current code emergency egress requirements for bedrooms.)

The design intent is multi-pronged: to retain the existing streetscape as much as is practicable; to add nothing that would compromise the view of the block from Market Street; to keep the scale and massing of the building's parts in harmony with the surrounding structures and with each other; to permit daylighting and ventilation on all sides of the structure where possible; and to create a "pocket" urban courtyard amenity for the building's inhabitants.



Level 1 – New Construction

For Official Use Only	
HPC Case Number:	
Date Submitted:	Amt. Paid:
Hearing Date:	
Fee Schedule	
SingleFamily/Duplex & Outbuilding(s) (2 or less units)	\$50.00
All Other (including non-residential outbuildings)	
Commercial & Multi-family (less than \$5000 improvement)	\$ 100.00
Commercial & Multi-family (greater than \$5000 improvement)	\$1,000.00

Planning Department * 140 West Patrick Street * Frederick, Maryland 21701 * 301.600.1499

HISTORIC PRESERVATION COMMISSION APPLICATION LEVEL 1 - NEW CONSTRUCTION

Level 1 applications must describe proposed construction in terms of the location, footprint, massing, plot plan, setbacks, massing, height, scale, roof form, facades, and materials. All new construction in the historic district must comply with the *Frederick Town Historic District Design Guidelines* and the *Secretary of the Interior's Standards and Guidelines for Rehabilitation*. The guidelines are available on the City's website (www.cityoffrederick.com), at the C. Burr Artz Library, and in the Planning Department at Municipal Office Annex, 140 West Patrick Street.

Instructions. This form must be completed in its entirety, with attachments, before it will be considered. Incomplete applications can result in project delays. Submit the original application, required fees, and THIRTEEN (13) copies of the application with supporting documents no later than 1:00 p.m. on the first of third Thursday of the month, to be considered at the next workshop and hearing. For further information, contact the Planning Department at 301-600-1499.

PROPERTY ADDRESS 66-70 S. MARKET STREET Tax ID:	
FREDERICK, MD 21701 Lot Number: 644A	
OWNER INFORMATION	
Name:	6601 SUITLAND ROAD LLC
Firm/Company:	
Address:	2117 EDGEWARE STREET
City/State/Zip:	SILVER SPRING, MD 20905
Phone:	240-350-9693 email: tarekaly1@aol.com
AGENT INFORMATION (Agent Authorization Form required if owner will not represent the property)	
Agent Name:	(SAME)
Firm/Company:	
Address:	
City/State/Zip:	
Phone:	Email:
BRIEFLY DESCRIBE PROPOSED CONSTRUCTION (details required in Scope of Work)	
REHABILITATE EXISTING MASONRY FACADE AS PRACTICABLE; CONSTRUCT A NEW BUILDING BEHIND, IN TWO NEARLY DISCRETE SECTIONS	
DESCRIBE EXISTING CONDITIONS	
EXISTING, DETERIORATED BUT RELATIVELY STABILIZED BRICK FACADE	

OWNER OR AGENT SIGNATURE

I hereby certify that the owner or his/her agent will make every effort to attend the Historic Preservation Commission workshop and hearing for which this application is scheduled. I understand that should the owner or his/her agent fail to attend this meeting, the HPC will continue this case until the next regular public meeting. This certification constitutes my agreement to an extension of the 45-day review period, as set forth in Art. 66B Sec. 8.12(e) of the Maryland Code and Sec. 423(d)(8) of the Land Management Code, in the event that I fail to attend the aforementioned meetings. My application may be continued no more than two (2) times. If I fail to attend the meeting following the second continuance, I understand that my application will be deemed to be withdrawn and no further action will be taken by the Commission.

I/we have reviewed the *Frederick Town Historic District Guidelines* _____ (initial)

- ☒ Please check here if the HPC and staff have permission to enter the yard to view the project.
- ☐ Please check here if this case has been cited by Code Enforcement and attach a copy of the citation letter.

Property Owner or Agent Signature _____

Date _____

HISTORICAL INFORMATION (use additional sheets, if necessary)

Briefly describe what is known about the history of this site.

LITTLE HAS BEEN FOUND REGARDING THE HISTORY OF THIS SITE. IT HAS SEEN MANY COMMERCIAL USES (TOBACCO STORE, CANDY STORE & BAKERY, GROCERY, RESTAURANT ETC.). AT ONE POINT IT HAD A STONE (FORMSTONE?) FACADE TREATMENT.

Describe other buildings on the site and provide information about their history.

NO OTHER BUILDINGS ARE EXTANT ON THIS SITE. ADJACENT TO THE NORTH IS A SIMILAR NEARLY VACANT LOT WITH AN EXISTING MASONRY FACADE, ALSO PROPOSED TO BE REHABILITATED. ADJACENT TO THE SOUTH IS AN ALREADY-REHABILITATED STRUCTURE, WHICH WILL BE ONLY MINIMALLY AFFECTED BY THE PROPOSED CONSTRUCTION.

PRIOR HPC CASES

Hearing Date	Case Number	Work Approved or Denied

CHECKLIST OF REQUIREMENTS

The following materials must be submitted by the application deadline. Additional information may be required by staff or HPC. Applicants will be notified if submitted material is inadequate.

Check items that are included in the application package.

- ☒ **Written scope of work.** The scope of work must be a detailed explanation of the proposed new construction. Please describe other buildings on the lot and the affect of new construction on those and other nearby historic structures. Include other information that will help the Commission evaluate the proposal. The explanation of the proposed structure, the design philosophy and the scope of work must be given.
- ☒ **Photos of existing conditions.** Original images and copies must be clear and must capture **all** sides of the building, the site, and any exterior building elements directly affected by the proposed rehabilitation. Only one original, color photo of each view is required. The 13 copies can be black-and-white or color photocopies. Please label each photo with the address of the property, HPC case number, the view, and the date.
- ☒ **Drawings.** Plans submitted must be folded to 8 ½ x 11".
 - **Elevations** – Showing massing, height, scale, façade, roof forms, and materials.
 - **Plot Plan** – Indicating lot lines; adjacent streets, alleys, and buildings; location, footprint, and setback of new construction; proposed site features, such as fences and paving.
- ☐ **Attend workshop and hearing.** Workshop and hearing attendance is mandatory for a case to be heard by the HPC.

After the Level 1 approval, the applicant must get final site plan approval from the Planning Commission then submit the Level 2 New Construction application to the Historic Preservation Commission.

Proposed Scope of Work

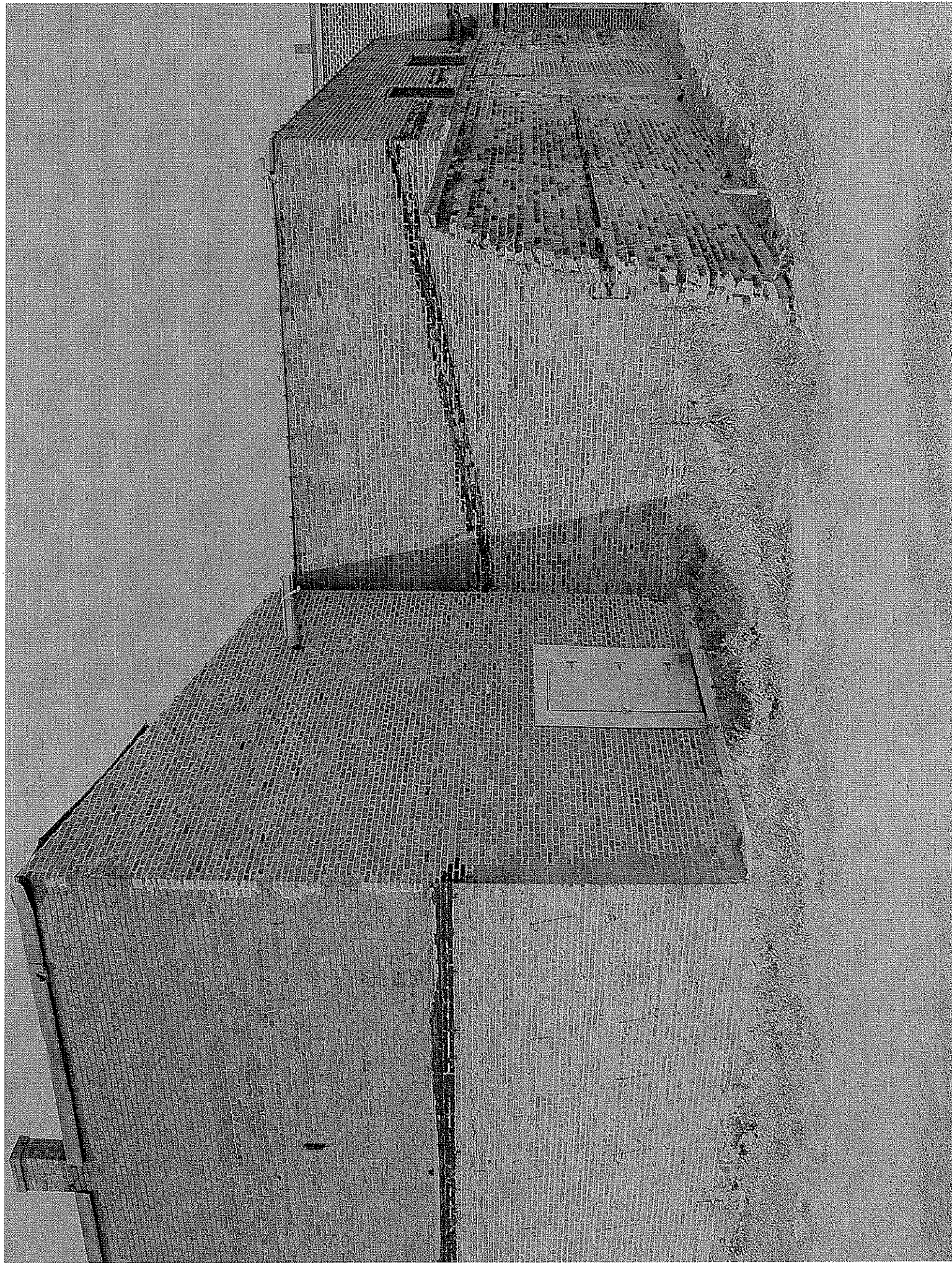
66-70 South Market Street

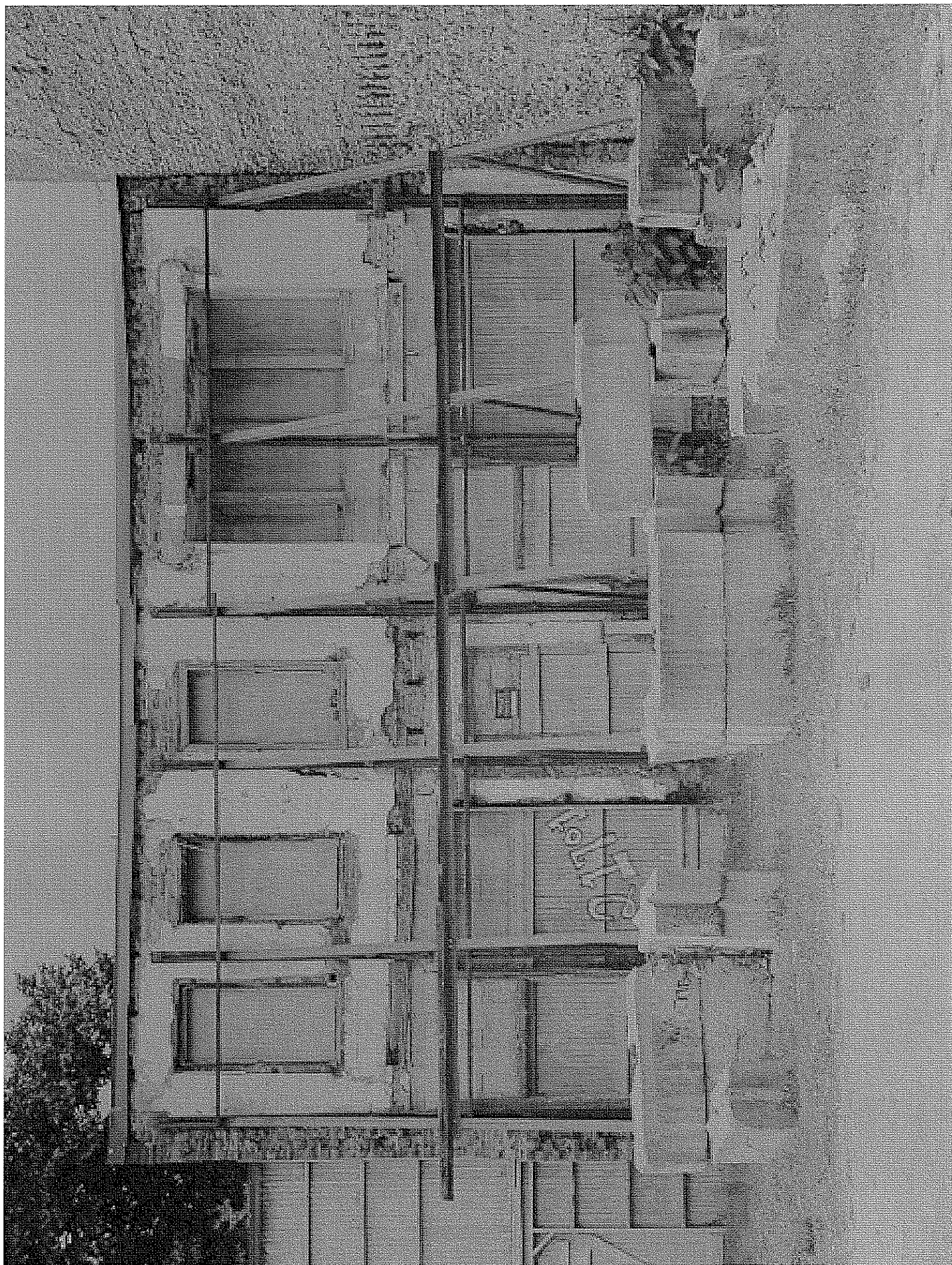
The existing parcel includes no structures at this time beyond a deteriorated but relatively stabilized brick facade (see photograph). Our intent is to retain and rehabilitate the existing facade as practicable and construct a new building behind it which comprises two linked structures, the front (Market Street) one of which approximately replicates the original massing and scale, including roofline, of the original building, and the rear one of which is harmonious with the front building and proposed adjacent building in height, scale, massing, roofline, fenestration and materiality.

We propose to construct two stories with gable roof at the front (Market Street) side of the lot, and three stories, one within the mansard/gambrel roof, at the rear, to provide retail/office space on the lower level/ Market Street side plus a total of four residential apartments, per attached plans. Again, the Market Street facade would be retained, with new storefront glazing at the street level and new windows in the existing openings above. (It is possible that window type or size might have to change, once the apartments are designed, to meet current code emergency egress requirements for bedrooms.) The plan has been "notched" at the 72 South Market side, to accommodate the existing fenestration on the side of the adjoining building as well as to allow fenestration on that side of the proposed building.

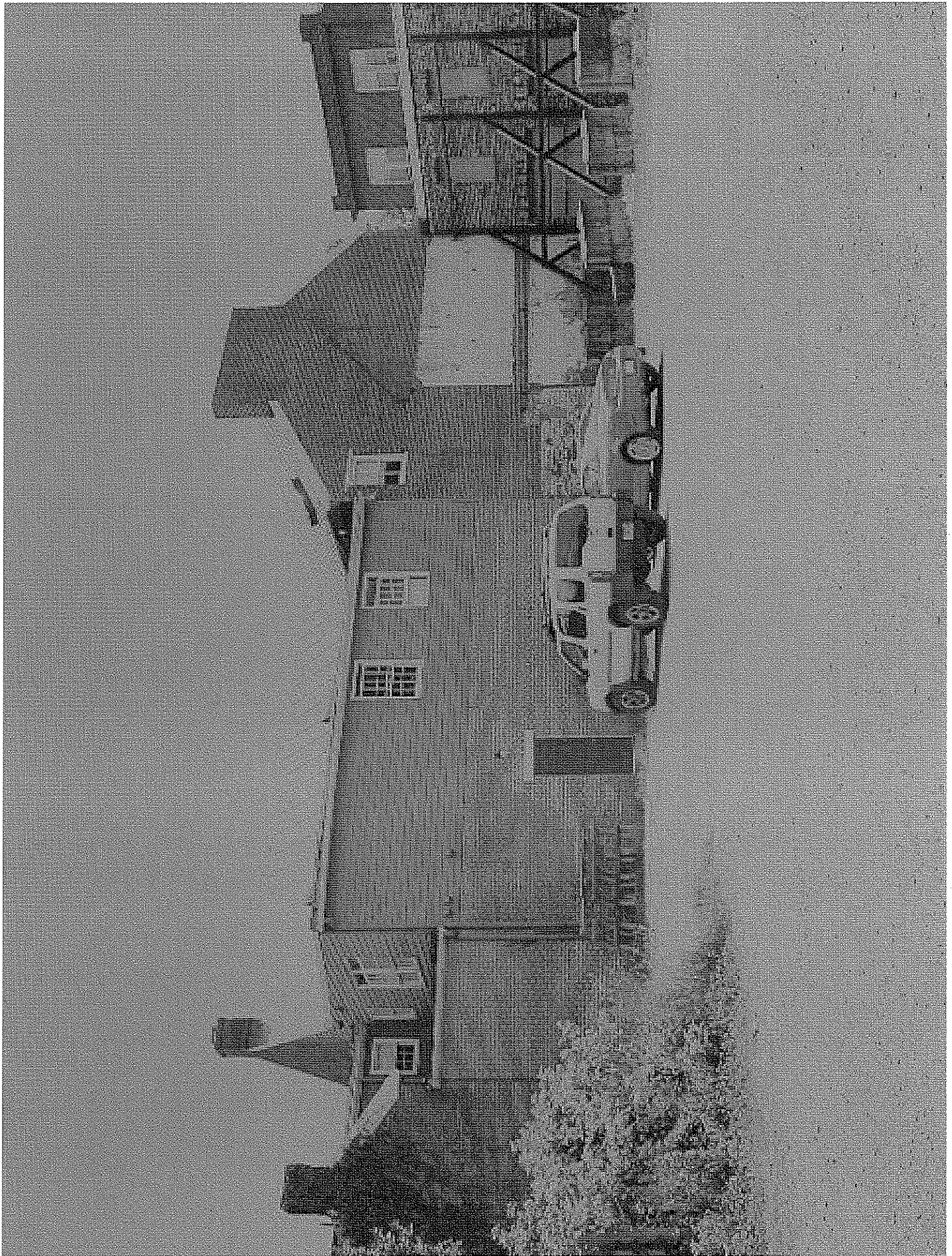
The design intent is multi-pronged: to retain the existing streetscape as much as is practicable; to add nothing that would compromise the view of the block from Market Street; to keep the scale and massing of the building's parts in harmony with the surrounding structures and with each other; to permit daylighting and ventilation on all sides of the structure where possible; and to create a "pocket" urban courtyard amenity for the building's inhabitants.

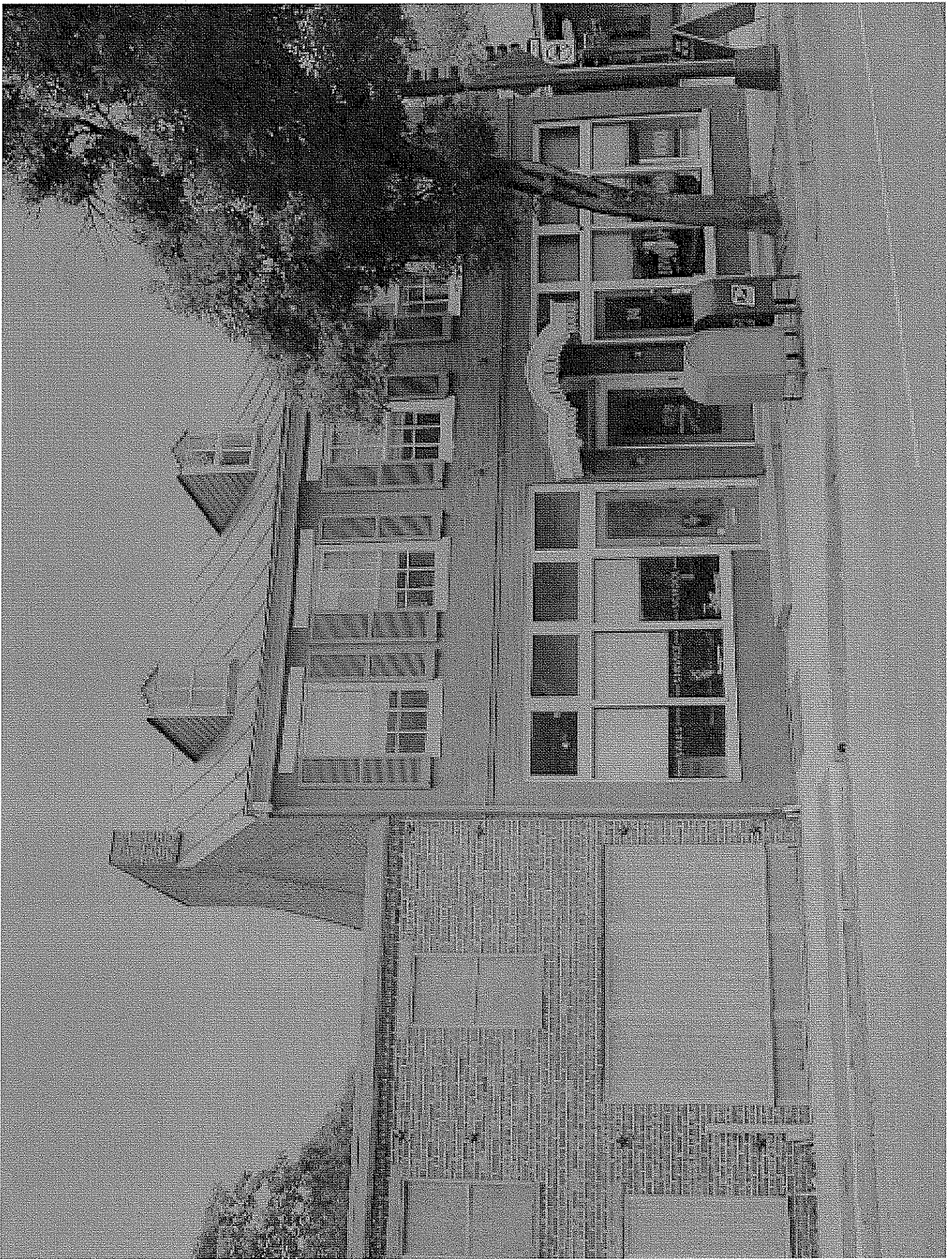


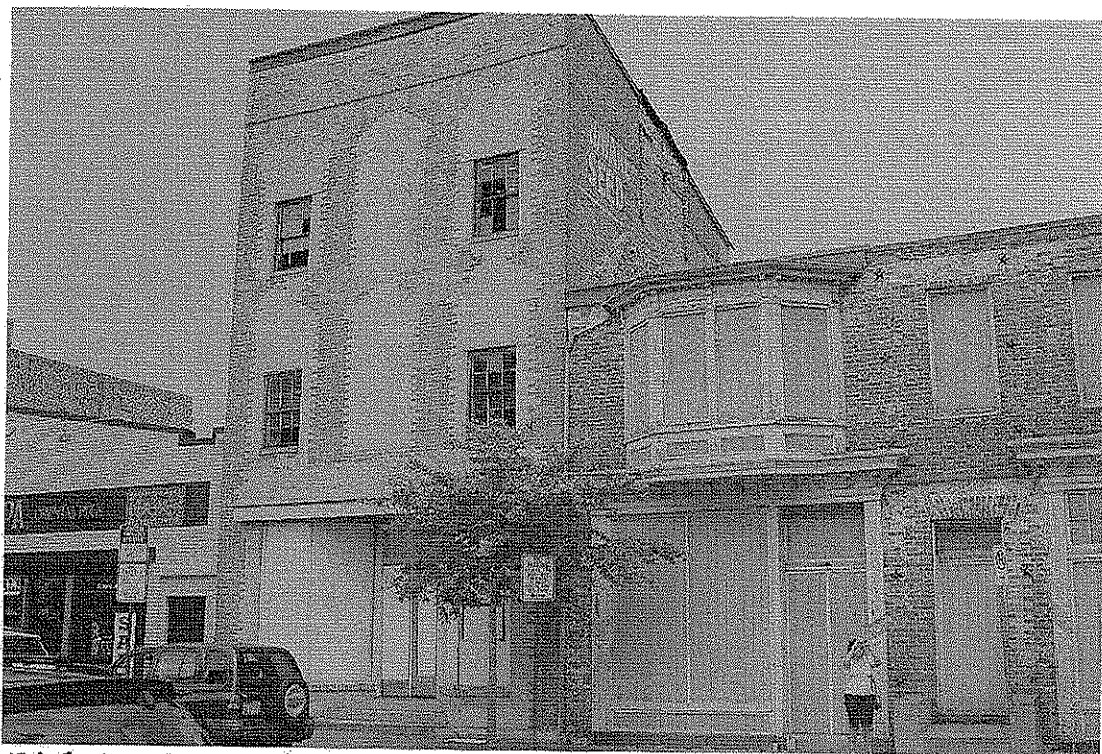




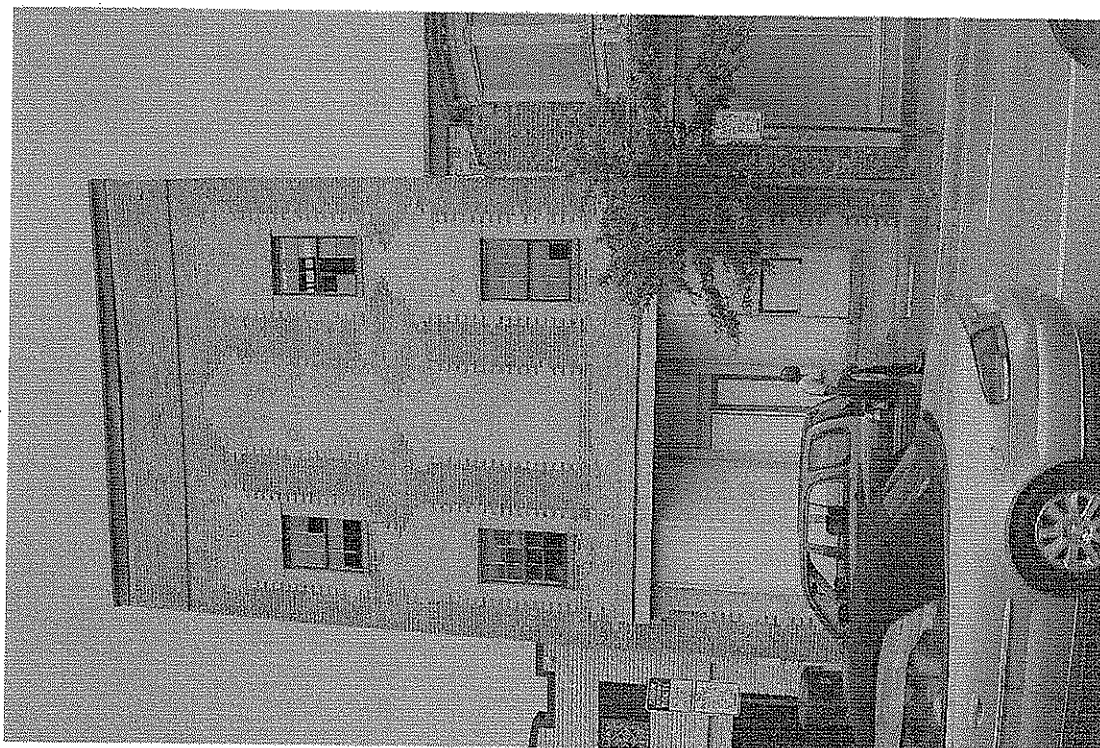




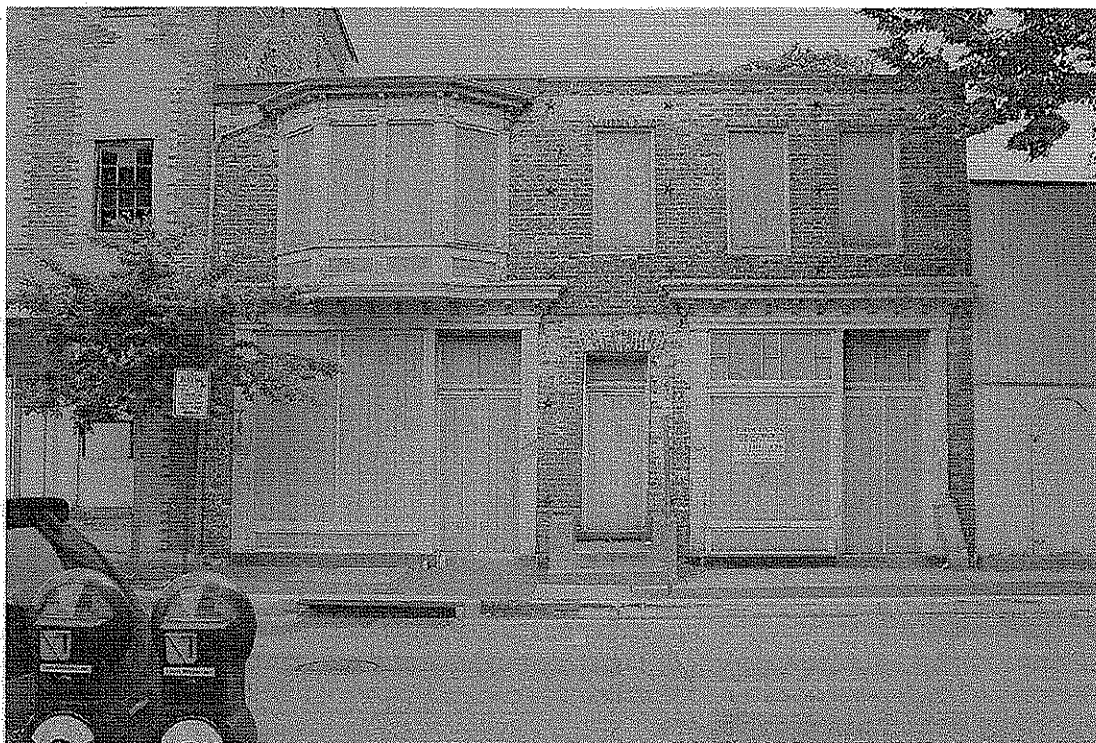




54 S. MARKET 56 S. MARKET 58 S. MARKET

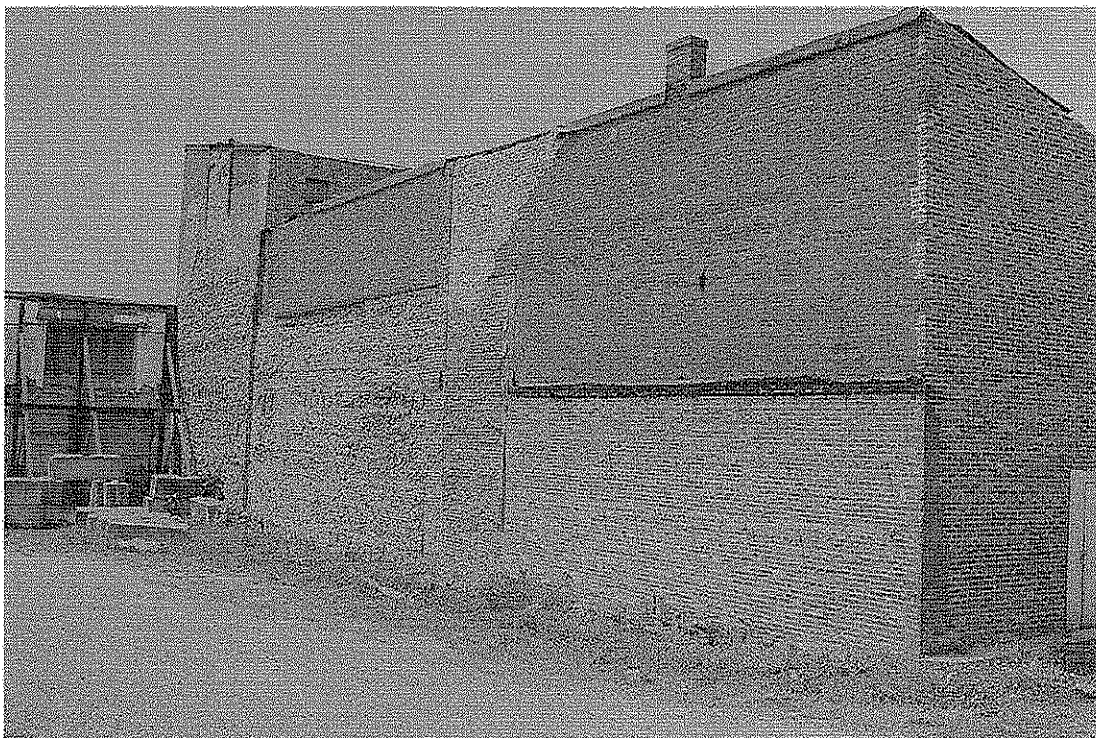


56 S. MARKET

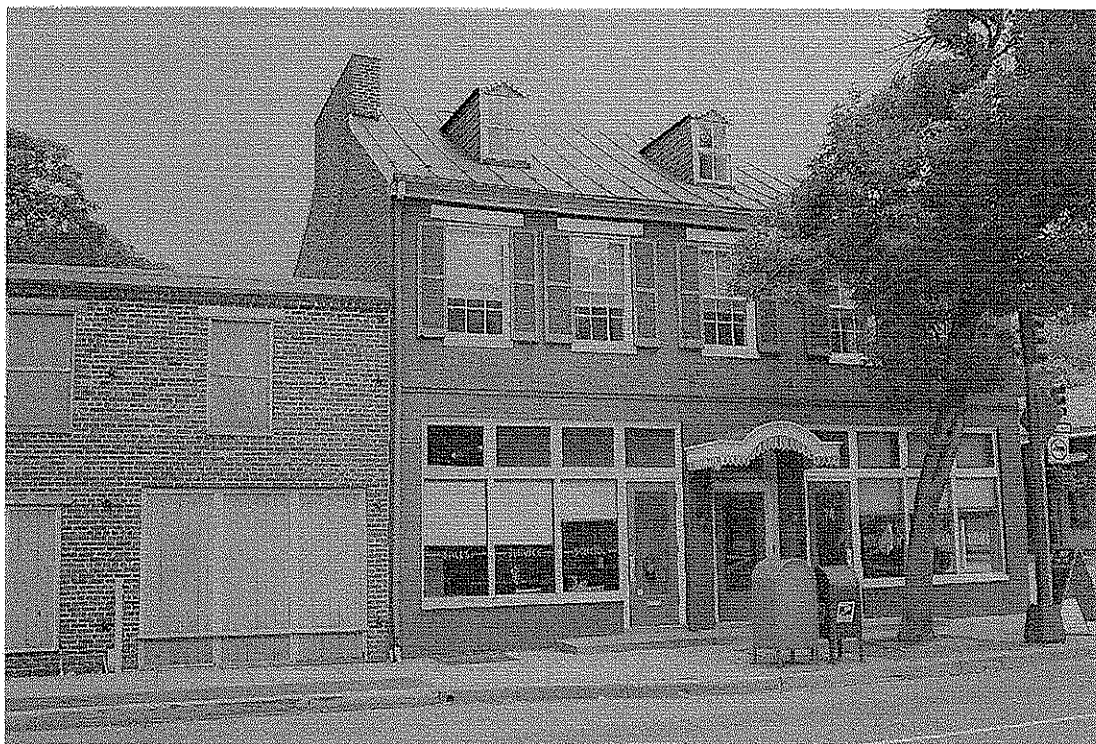


58-62 S. MARKET

64 S.
MARKET



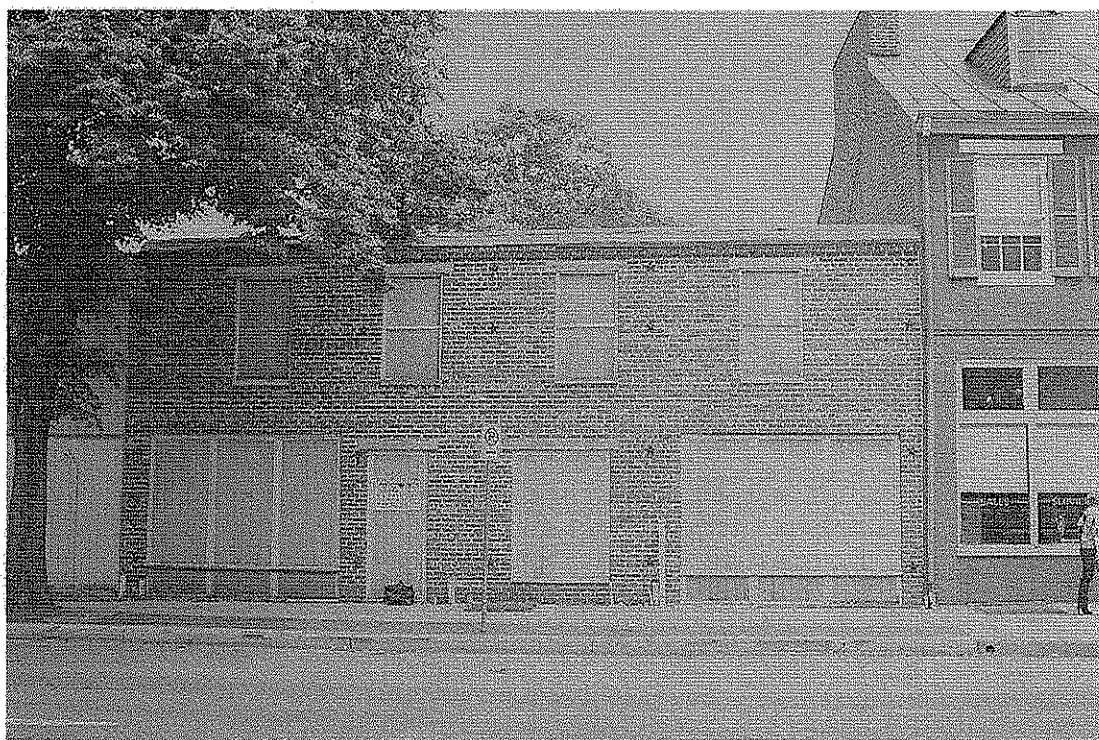
SIDE, 56 S. MARKET



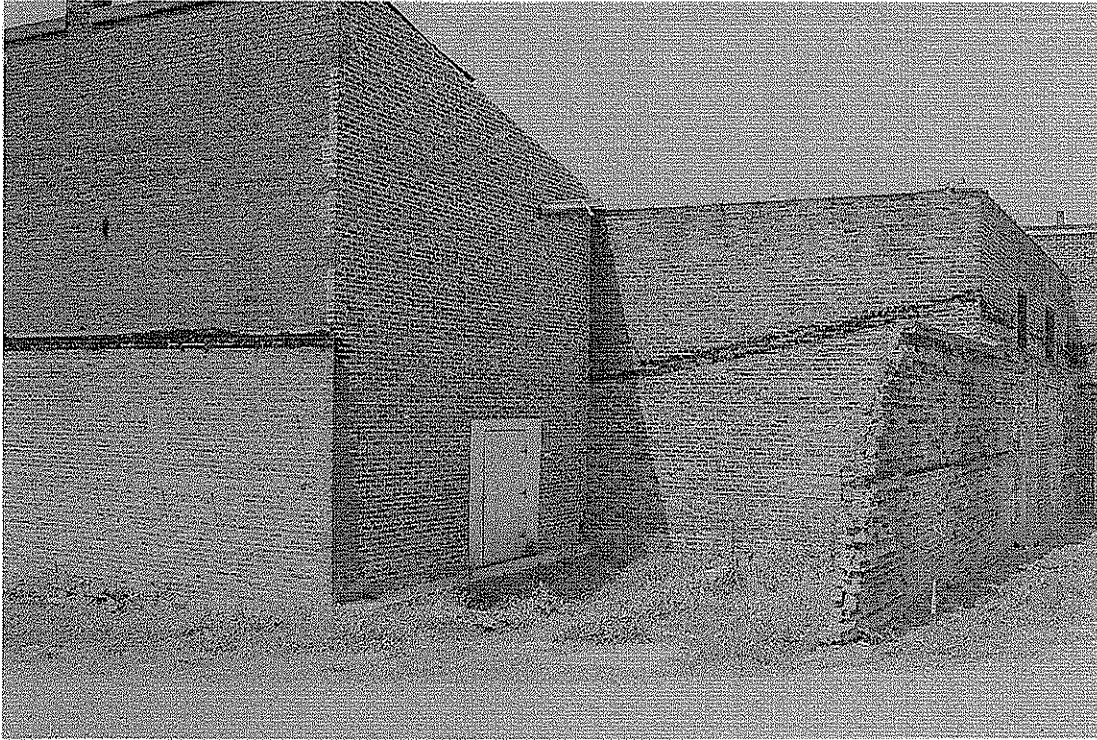
70 S. MARKET

72 S. MARKET
(ADJOINING PARCEL)

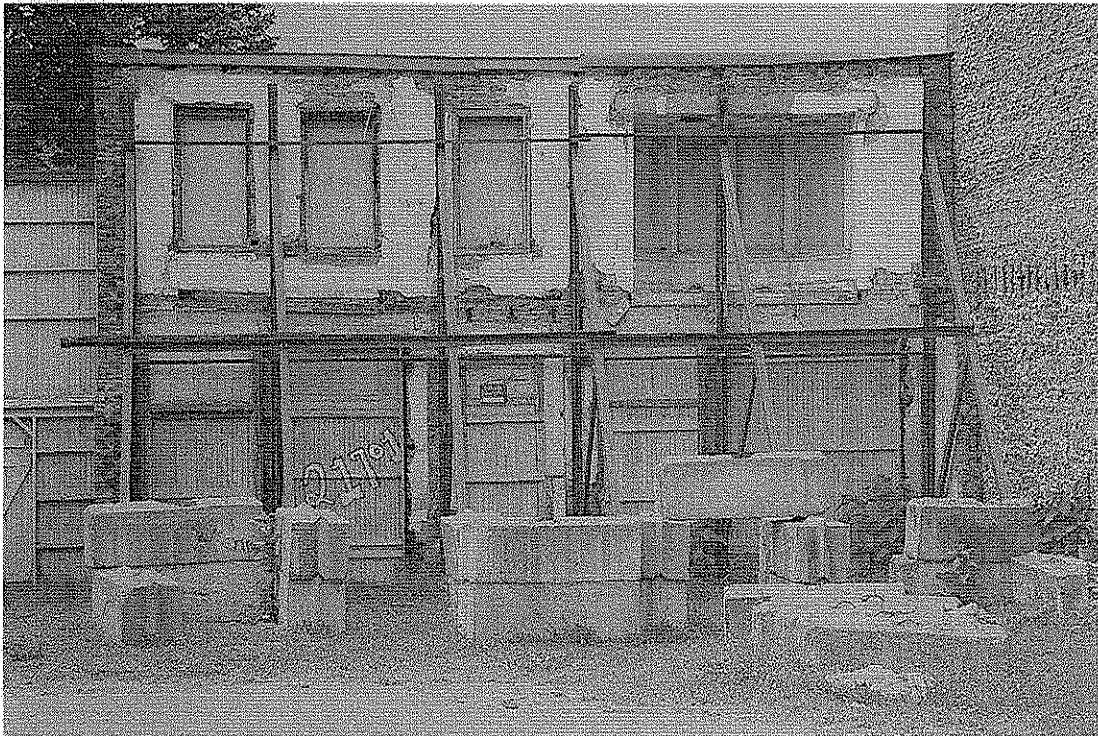
74 S. MARKET



66-70 S. MARKET STREET



REAR, 56 S. MARKET

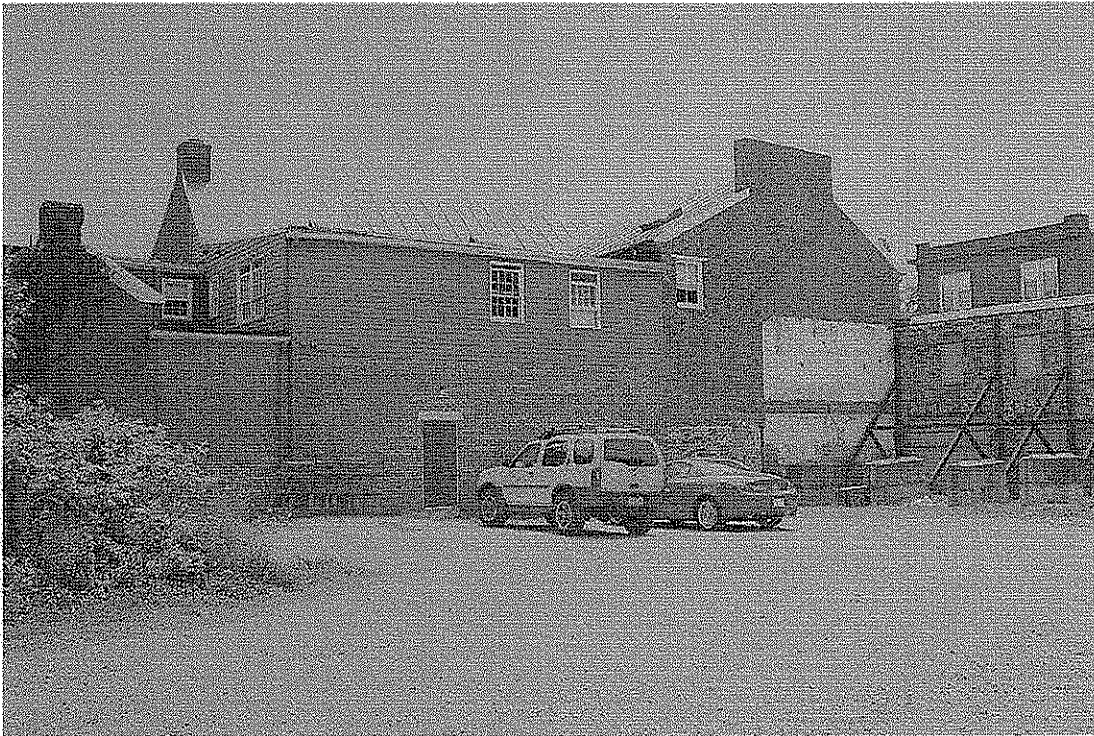


REAR, 58-62 S. MARKET



REAR, 66-70 S. MARKET

REAR, 64 S. MARKET



SIDE, 72 S. MARKET (ADJACENT)



56 S. MARKET STREET

58-62 S. MARKET STREET

66-10 S. MARKET STREET

EXISTING ELEVATIONS TO BE REHABILITATED

MARKET STREET FRONT ELEVATION

SCALE: 1/8" = 1'-0"



58-62 S. MARKET STREET

SIDE ELEVATION AT COURTYARD - VIEW A

SCALE: 1/8" = 1'-0"

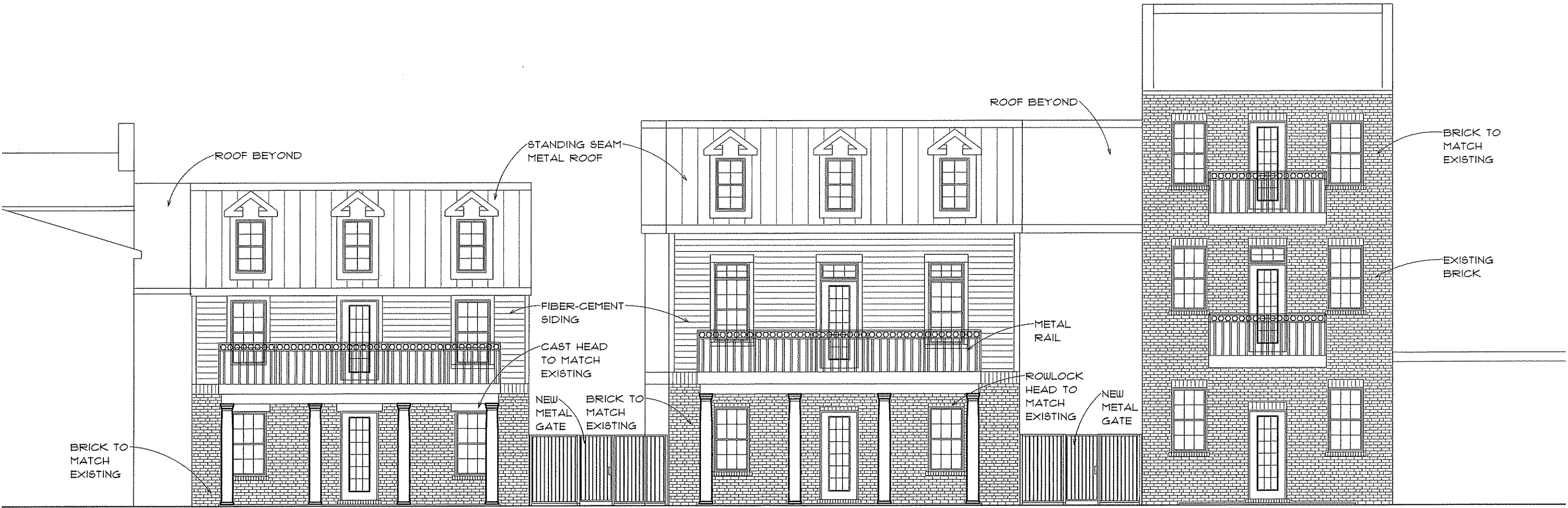
FINAL WINDOW CONFIG TBD



66-70 S. MARKET STREET

SIDE ELEVATION AT COURTYARD - VIEW B

SCALE: 1/8" = 1'-0" FINAL WINDOW CONFIG TBD



66-70 S. MARKET STREET

58-62 S. MARKET STREET

56 S. MARKET STREET

REAR ELEVATION - VIEW C

SCALE: 1/8" = 1'-0"



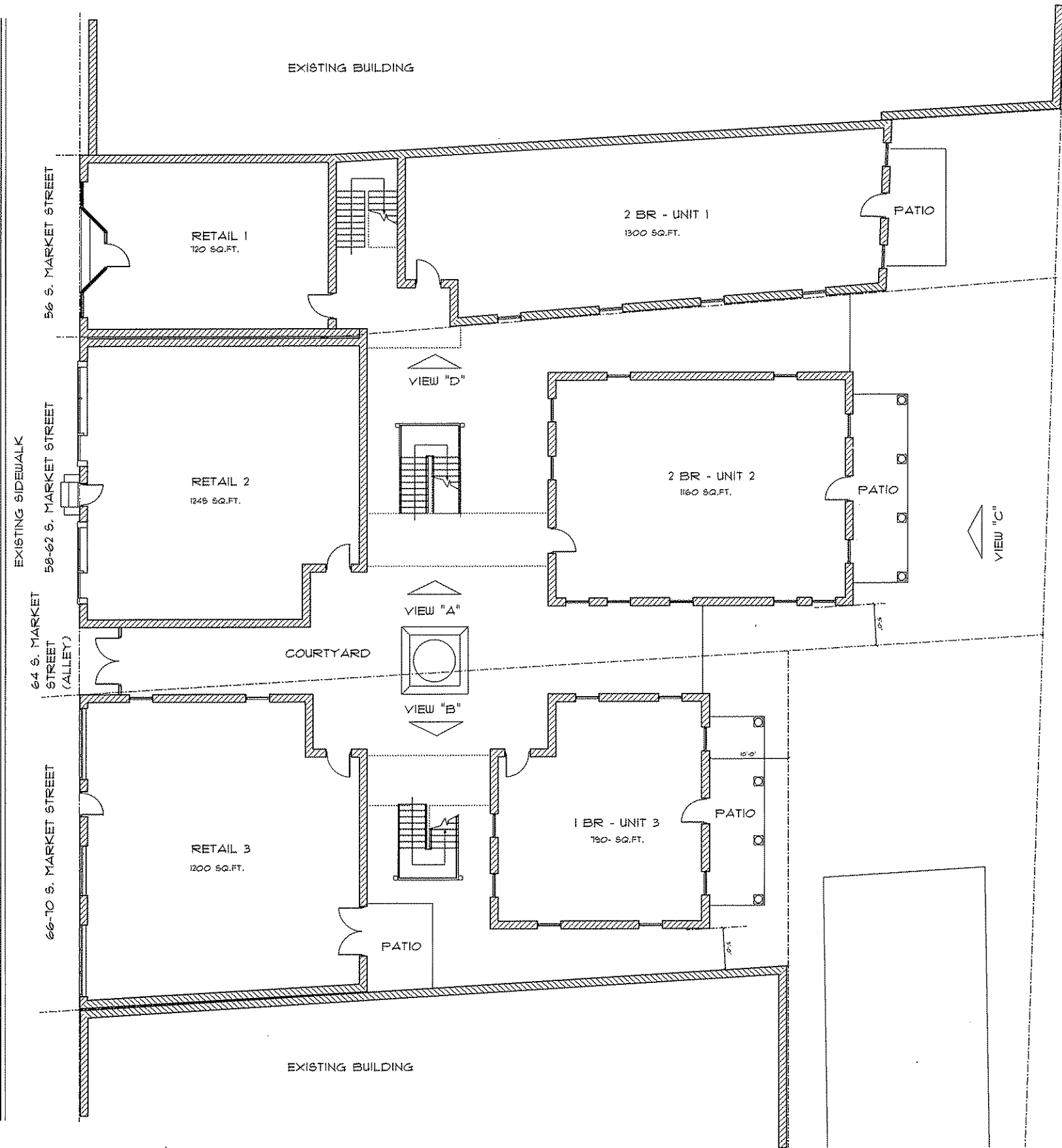
56 S. MARKET STREET

SIDE ELEVATION AT COURTYARD - VIEW D

SCALE: 1/8" = 1'-0"

FINAL WINDOW CONFIG TBD

S. MARKET STREET

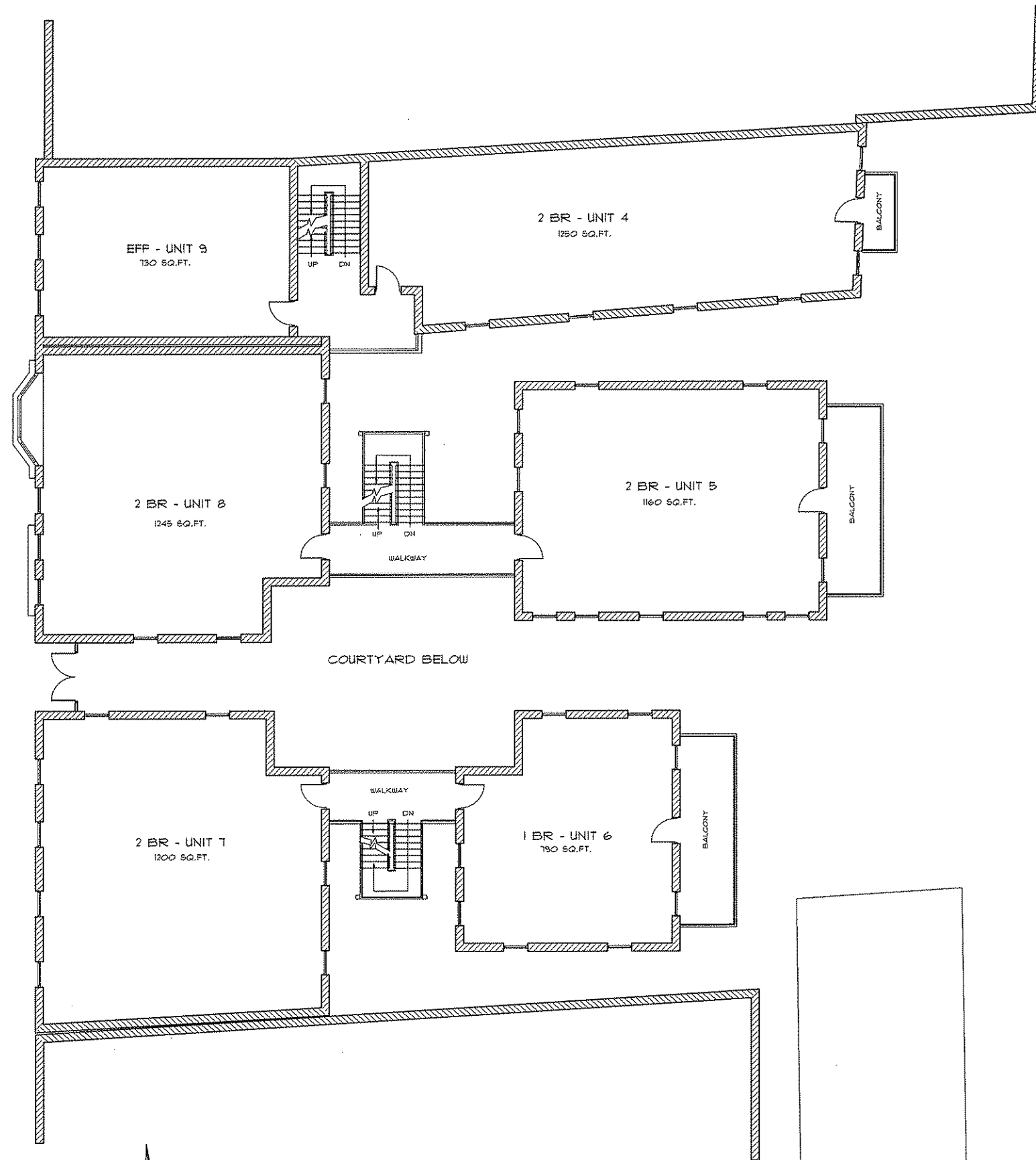


GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"

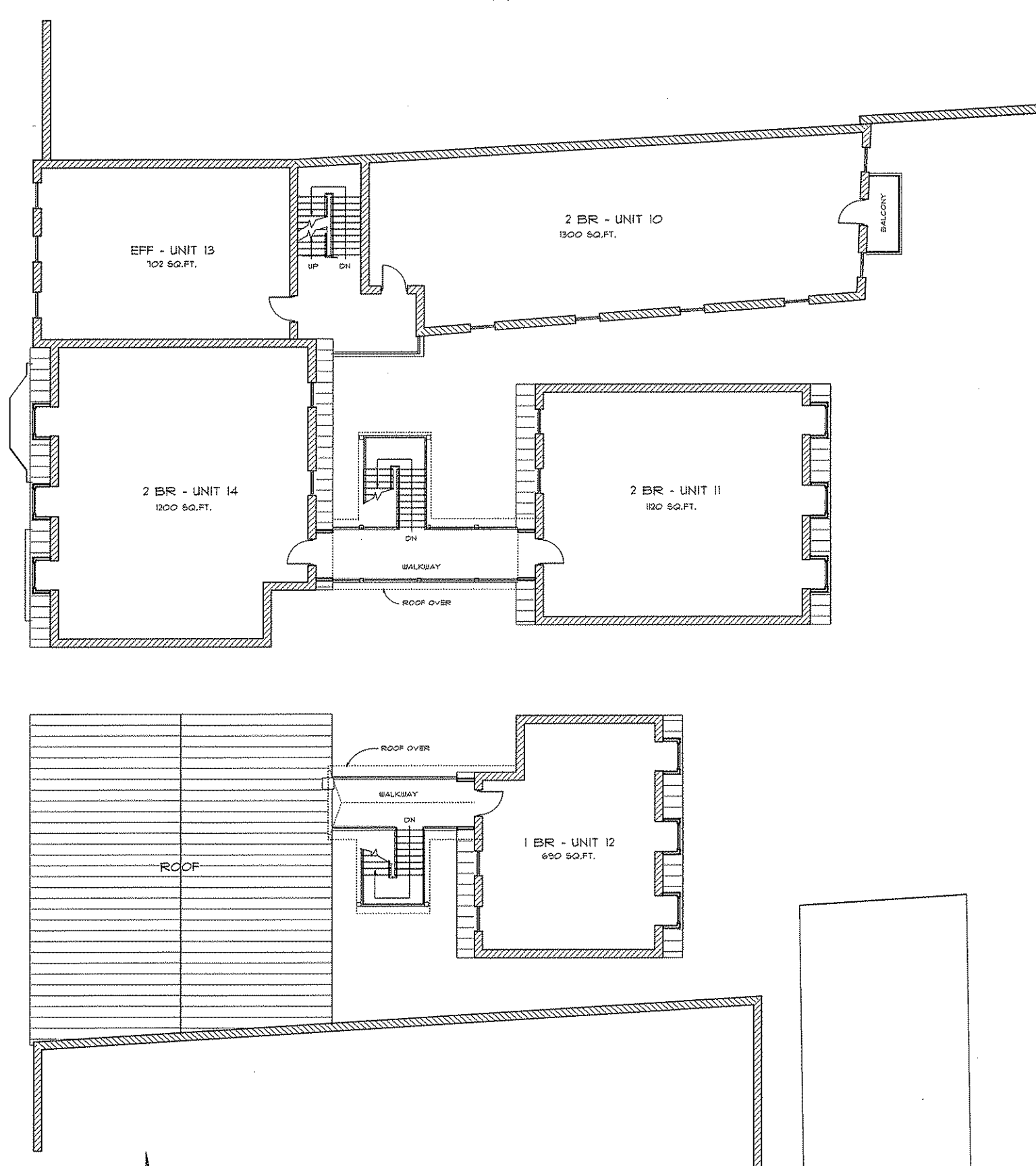
UNIT BREAKDOWN

FLOOR	RETAIL	EFF	1 BR	2 BR	REMARKS
GROUND	3		1	2	
SECOND		1	1	4	
THIRD		1	1	2	
TOTAL	3	2	4	8	
TOTAL NO. OF UNITS		14			



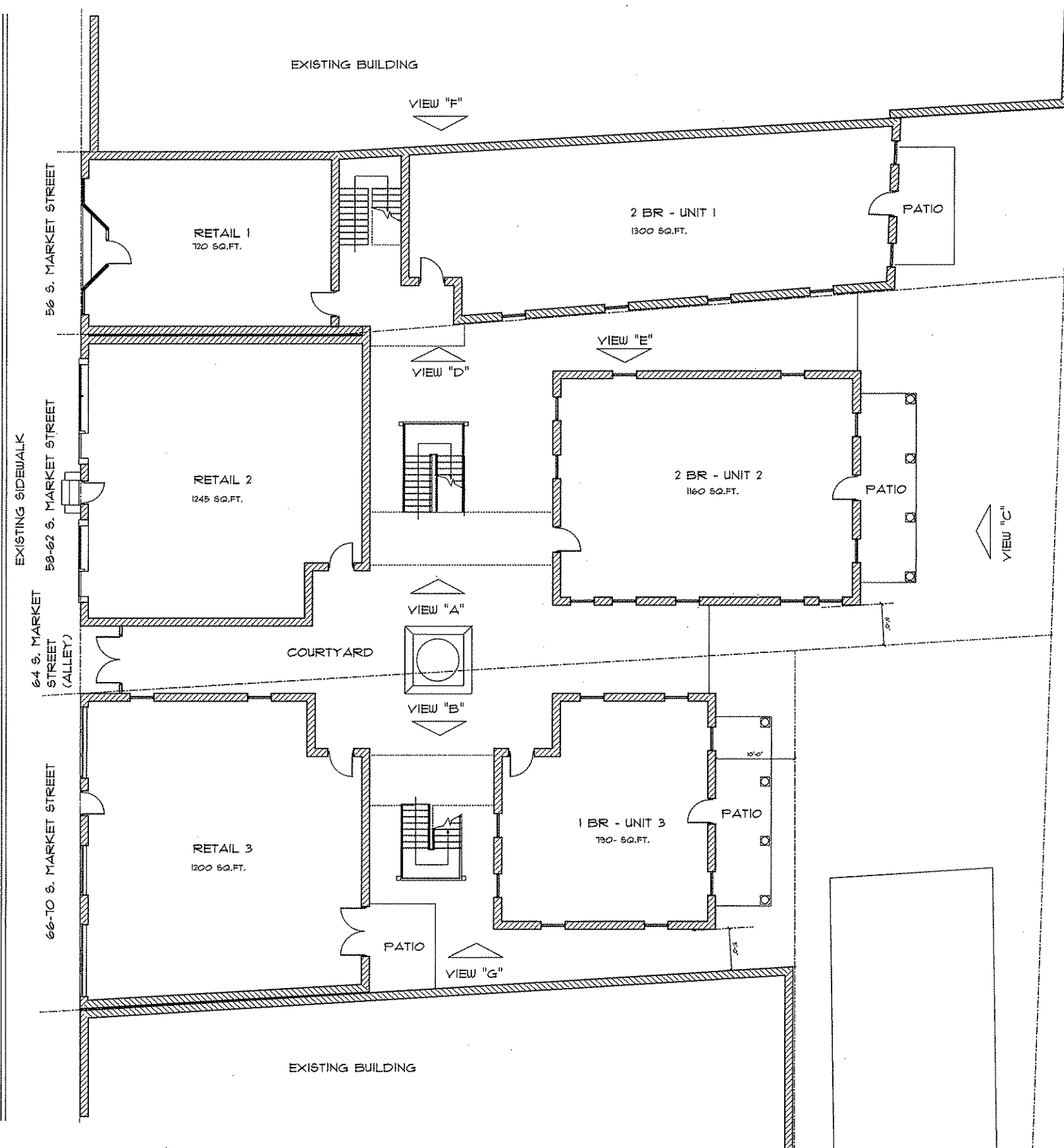
SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"



 **THIRD FLOOR PLAN**
SCALE: 1/8" = 1'-0"

S. MARKET STREET

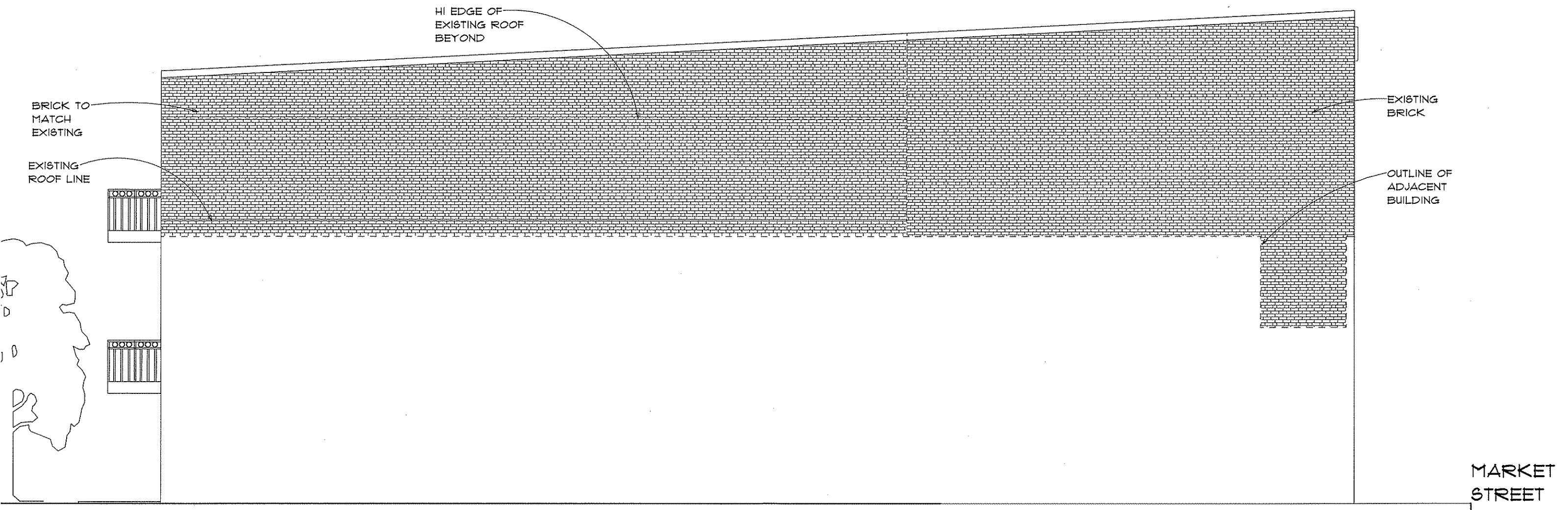


GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"

UNIT BREAKDOWN

FLOOR	RETAIL	EFF	1 BR	2 BR	REMARKS
GROUND	3		1	2	
SECOND		1	1	4	
THIRD		1	1	2	
TOTAL	3	2	4	8	
TOTAL NO. OF UNITS		14			



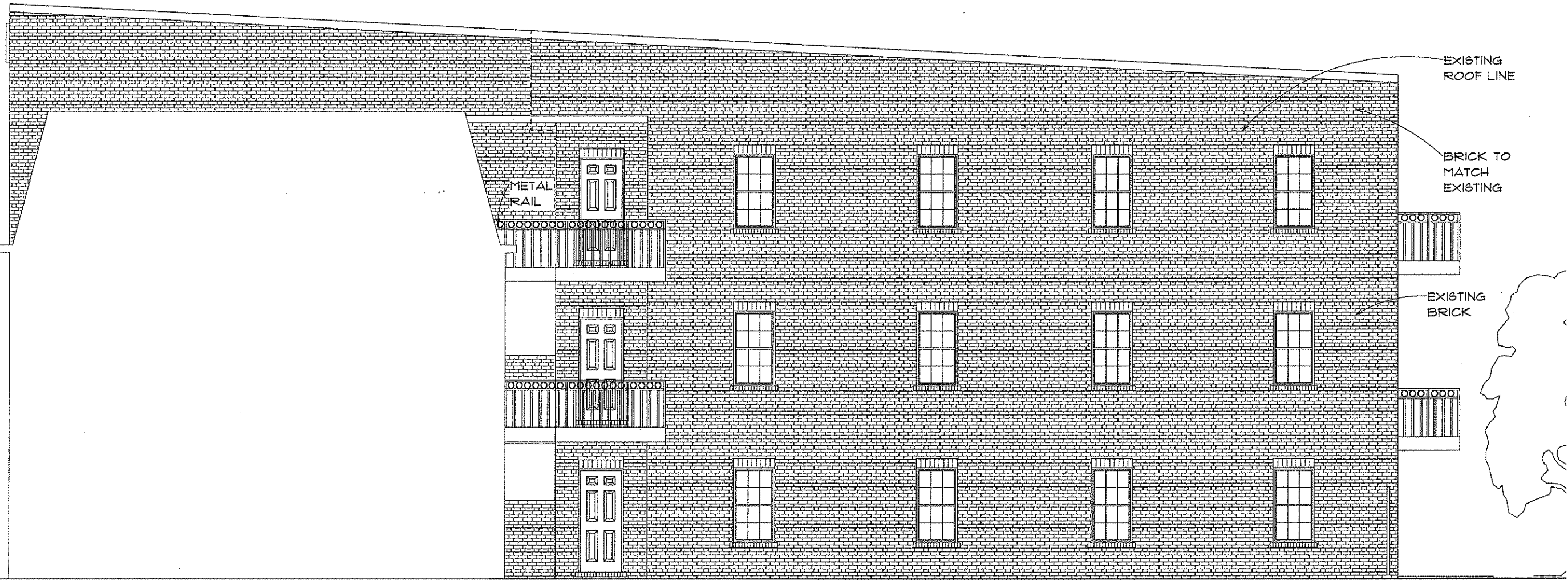
56 S. MARKET STREET

SIDE ELEVATION - VIEW F

SCALE: 1/8" = 1'-0"

FINAL WINDOW CONFIG TBD

MARKET
STREET

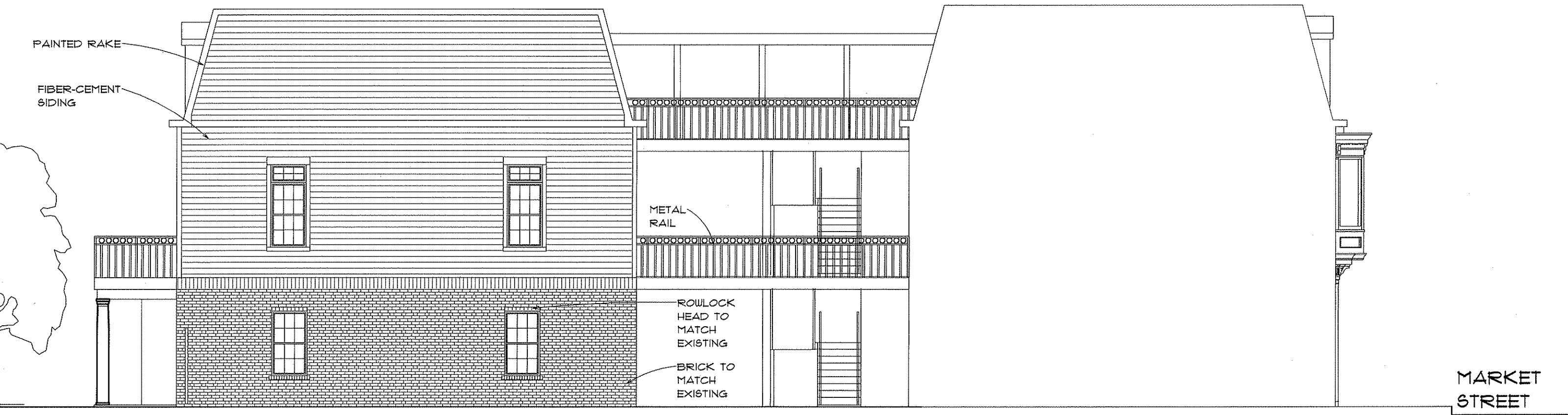


56 S. MARKET STREET

SIDE ELEVATION - VIEW D

SCALE: 1/8" = 1'-0"

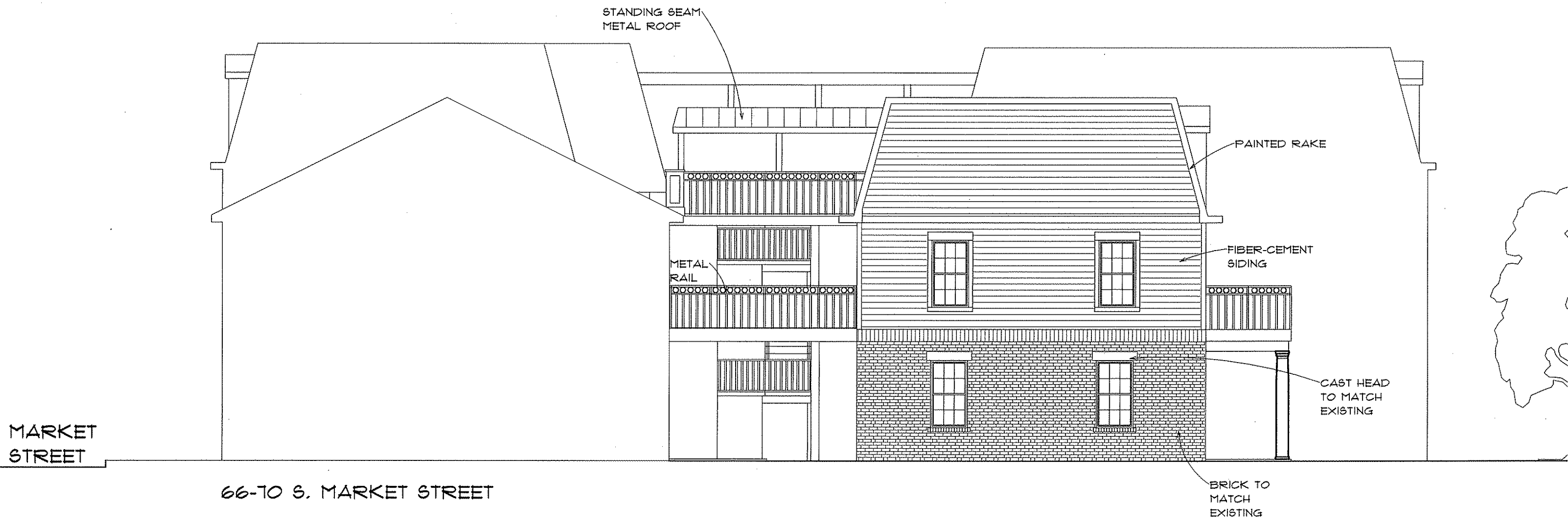
FINAL WINDOW CONFIG TBD



58-62 S. MARKET STREET

SIDE ELEVATION - VIEW E

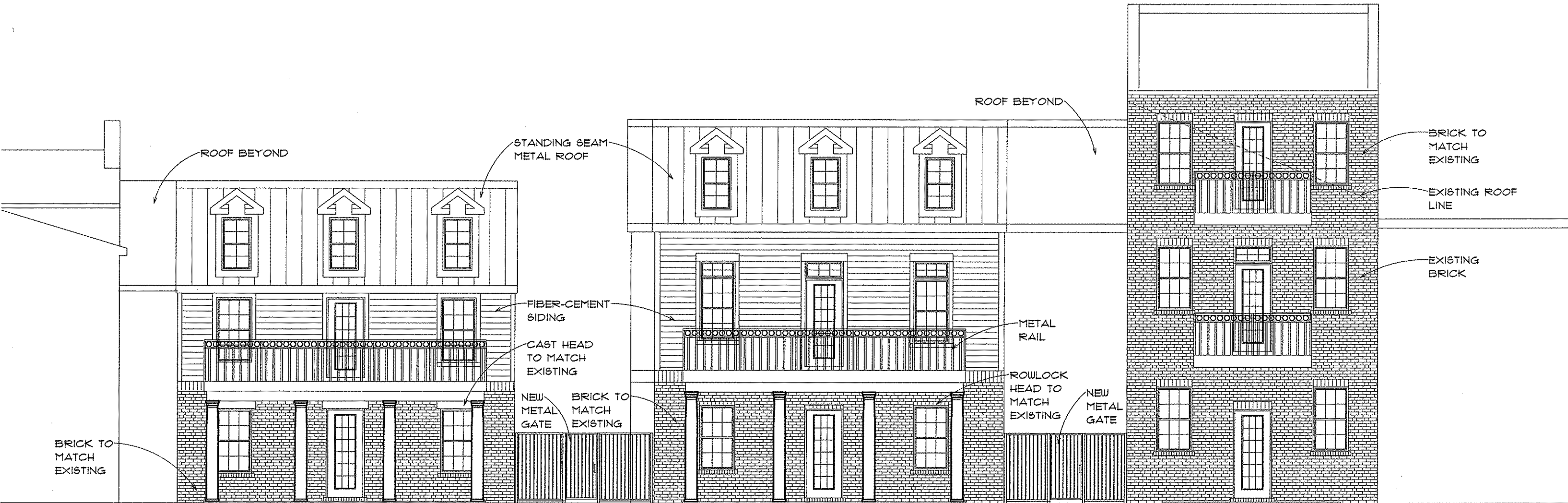
SCALE: 1/8" = 1'-0" FINAL WINDOW CONFIG TBD



SIDE ELEVATION - VIEW G

SCALE: 1/8" = 1'-0"

FINAL WINDOW CONFIG TBD



66-70 S. MARKET STREET

58-62 S. MARKET STREET

56 S. MARKET STREET

REAR ELEVATION - VIEW C

SCALE: 1/8" = 1'-0"